

AGENDA
City of Hobbs Planning Board – Regular Meeting
May 18, 2021 at 10:00 AM

W.M. “Tres” Hicks, Chairman
Bill Ramirez
Brett Drennan
Larry Sanderson

Guy Kesner, Vice Chairman
Philip Ingram
Ben Donahue

Tentative Agenda for the Planning Board Regular Session Meeting to be held on Tuesday, May 18, 2021 at 10:00 AM at the City of Hobbs Annex Building, First Floor Commission Chambers located at 200 E. Broadway, Hobbs, NM 88240.

AGENDA

- 1) Call To Order.**
- 2) Review and Consider Approval of Agenda.**
- 3) Review and Consider Approval of Minutes.**

April 20, 2021 – Regular Meeting

- 4) Communications from Citizens.**

ACTION ITEMS

- 5) Review and Consider Proposed Vacation & Replat of property located in the Extra-Territorial Jurisdiction within the Airbase City Subdivision.**
- 6) Review and Consider Front Yard Setback Variance as submitted by property owner for property located at 1001 W. Hollis Drive.**
- 7) Review and Consider FY 2021-2022 Market Rate Multi-Family & Single Family Housing Municipal Infrastructure Reimbursement Incentive & Public Participation Infrastructure Extension Development Agreement Policy.**
- 8) Review and Consider Preliminary Plan Approval Zia Crossing Unit 8, as presented by property owner, Black Gold Estates.**
- 9) Review and Consider proposed variance from MC 15.20 for property located at 305 E. Sanger.**

DISCUSSION ITEMS

- 10) Review Proposed Updated Master Plan for Zia Crossing Unit 8, as presented by property owner, Black Gold Estates.**

Adjournment.

The City will make every effort to provide reasonable accommodations for people with disabilities who wish to attend a public meeting. Please notify the City at least 24 hours before the meeting. Telephone 397-9351.

“Notice is hereby given that a quorum of the Hobbs City Commission may be in attendance at this meeting.”

**PLANNING BOARD MEETING
MINUTES
April 20, 2021**

The Hobbs Planning Board met on April 20, 2021 at 10:00 a.m. at City of Hobbs Annex Building, First Floor Commission Chambers, located at 200 E. Broadway, Hobbs, NM 88240 with Mr. W.M. “Tres” Hicks Chairman presiding.

Members Present:

Tres Hicks, Chairman
Guy Kesner, Vice Chairman
Larry Sanderson
Philip Ingram
Ben Donahue

Members Absent

Brett Drennan
Bill Ramirez

Also present were members of the public and City staff as follows:

Kevin Robinson, Development Director
Julie Nymeyer, Staff Secretary
Dominic Mendoza

Todd Randall, City Engineer
Valerie Chacon, Asst. City Attorney
Jay Collins

1) Call To Order.

Chairman Hicks called the meeting to order at 10:01 am.

2) Review and Consider Approval of Agenda.

The first item of business was to review and approve the Agenda for the April 20, 2021 meeting. Mr. Hicks asked if there were any changes to the agenda? Mr. Robinson said item number 5 needed to be removed from the agenda. Mr. Hicks said item 5 will be taken off the agenda and the Board will start with item 6. Mr. Ingram made a motion, seconded by Mr. Kesner to approve the agenda as amended. The vote on the motion was 5-0 and the motion carried.

3) Review and Consider Approval of Minutes.

March 16, 2021 – Regular Meeting

Mr. Hicks asked if everyone has had a chance to read the Regular Meeting Minutes from March 16, 2021. Julie Nymeyer said she noticed a mistake on item 3 and corrected it. Mr. Hicks said on item 7 there was a misspelling. Mr. Kesner made a motion, seconded by Mr. Ingram to approve the Regular Meeting Minutes as amended. The vote on the motion was 5-0 and the motion carried as amended.

4) Communications from Citizens.

Due to the current COVID-19 State of Emergency and the orders of the New Mexico Department of Health, public comment should be submitted in writing via email to the City of Hobbs Planning Department at krobinson@hobbsnm.org or via fax at (575)-397-9227 no later than 9:30 a.m. on February 16, 2021.

Mr. Robinson read an email he received from Ms. Barbara Flowers:

I am unable to attend the planning board meeting this morning. My mom is in the hospital in Lubbock. May I please submit a question concerning the development of the North Jefferson/ Gold Ave intersection?

- (1) As owner of Lots 8, 9 & 10 of Lovelady Pritchett, we would like to pursue maintaining the dead end with a cul-de-sac.
- (2) Creating a cul-de-sac on Adventura Ln will be beneficial to minimizing traffic from school release.
- (3) As the USPS letter carrier in this neighborhood for over 17 years, I am very familiar with the residents. Many people have concerns for increased, high speed traffic created by these street openings.

Mr. Robinson said one of the comments during Preliminary Approval was making Adventura Lane located on the east side of Jefferson either line up with Gold or become a cul-de-sac. He said in order for a Gold Street cul-de-sac to be compliant there would have to be dedication of additional property and installation of infrastructure. He said they would have to have a turnaround for Emergency responders.

5) Review and Consider Proposed Annexation of +/- .95 acres of property located southwest of the intersection of Scenic and Maple.

This item was removed from the agenda.

6) Review and Consider Side Yard Setback Variance as submitted by property owner for property located at 4210 Backstretch.

Mr. Robinson said this is the last lot on Backstretch to be developed. Mr. Hicks said they have addressed this issue on several addresses in this area and he said he does not see an issue with it. Mr. Ingram made a motion, seconded by Mr. Sanderson to approve the variance. The vote on the motion was 5-0 and the motion carried.

7) Review and Consider Proposed Infrastructure Development Agreement concerning the projection of Jefferson, Glorietta and Off-Site Roadways, located south & southeast of the eastern terminus of Glorietta.

Mr. Robinson said that staff met with the Developer this morning and there will probably be changes to this agreement. He said there are some concepts that this Board and Commission approved such as Fair Share development agreement. He said only half of the roadway and half of the infrastructure is beneficial to the developer. He said the developer is required to put in 100% of the infrastructure. He said the Development Agreement they are looking at today is allowing Glorietta to be developed as a hybrid which would eliminate some of the funds today and then as the properties are developed on either side they would pay the assessment fee.

Mr. Robinson discussed Ranchland being extended all the way out to Navajo by the Developer. He said the developer and the public would be better served with Ranchland extended to Navajo. Mr. Kesner ask if Ranchland had anything to do with this item today? Mr. Robinson said the developer would like to include Ranchland in this Developer's Agreement. He said this a developer agreement for these major collectors. He said staff told the developer they could do a hybrid section which would eliminate some of the funds you spend today and then as the properties are developed on either side then develop the other half. He said the municipality can participate with burying the infrastructure and then as you make connections on either side you will pay the assessment fees.

Mr. Kesner said if the municipality participates then in the future when there is a future connectivity to that infrastructure then the city will receive their assessment of today's investment back. Mr. Hicks asked if Ranchland gets added to the Developer's Agreement will the Board have to see this again? Mr. Robinson said no.

Mr. Kesner asked what the agreement was for on Ranchland? Mr. Robinson said staff would like to develop Ranchland like a major collector and put in public funds and have it done today and as it is developed get the assessment. He said you are doing the work now it is easier to get it all done at once. He said that does require an expenditure of public funds. Mr. Hicks asked if Ranchland could be a hybrid collector similar to Glorietta or it could be fully developed? Mr. Robinson said yes.

Mr. Hicks said he understands the desire to develop fully Ranchland as a major collector but he is not sure he thinks it needs to be a major collector yet. He said it could take another four or five years to develop it out. Mr. Robinson said there is a point that you have to have a major collector. Mr. Sanderson said he is uncomfortable with Ranchland because it is not reflected anywhere in the documents or on the agenda. He said if they approve this now then what are they approving? He said he thinks that is a conversation for another day. Mr. Kesner said he feels the same way. Mr. Hicks said he thinks the Board would like to have some more input on that. He said he is personally in favor on saving on the infrastructure right now.

Mr. Kesner said he liked the idea of doing a half roadway on Glorietta. Mr. Sanderson made a motion, seconded by Mr. Ingram to recommend approval to the City Commission without adding Ranchland in the Developer's Agreement at this time. The vote on the motion was 5-0 and the motion carried.

Mr. Sanderson left the meeting.

- 8) Review and Consider Possible Infrastructure Development Agreement(s) concerning the projection of Ja-Rob, projected south of Millen, and the projection of Campbell, projected west of Grimes.**

Mr. Robinson said this is a Development Agreement for the projection of Jarob. He said staff is always going to be adamant about the projection of roadways. He said he would suggest a hybrid development. Mr. Kesner asked how wide Jarob is to the north of Millen? Mr. Randall said it is a 60 foot right of way but it is only a county line section so 26 foot paved. Mr. Kesner said he thinks staff wants major collectors in areas that we think are going to develop out more in a commercial aspect versus a residential. Mr. Robinson said the problem is we don't know how these roadways are going to develop out. Mr. Hicks said Jarob is going to be a drainage issue at some point. He said the 80 foot right of way is a valuable item which creates a larger setback but he struggles with extra wide roads because they hurt us on speed and maintenance. He likes maintaining the right or way and going with the hybrid development because it gets the best of both worlds.

Mr. Hicks said does the Board want to do a Development Agreement yes, do we want to do a hybrid or not, yes we do, do want to keep the right of way yes they do. Mr. Collins said they have the 80 feet on both sides of the roadway. He said it is all going to be commercial property.

Mr. Robinson said what the municipality wants is the entirety of the dedication rather it is a hybrid or full street. Mr. Hicks said so everyone agrees to full right of way and hybrid is acceptable in the development agreement. Mr. Robinson said they are putting in the sewer line in Millen Street and the municipality has approved a development agreement for the infrastructure being extended there. He said the developers will not pay an assessment for that because they are paying for the installation for the sewer line. Mr. Robinson asked if there was anything that would preclude them from doing a roadway only and an infrastructure extension agreement down Jarob. He said if anyone attaches to the line there will be an assessment.

Mr. Ingram made a motion, seconded by Mr. Donahue to approve the Development Agreement and table Campbell Street until a later date. The vote on the motion was 4 to 1 with Mr. Kesner abstaining.

- 9) Review and Consider Final Plat Approval for The Meadows Subdivision Unit IV, as submitted by property owner, Lemke Development, Inc.**

Mr. Robinson said this is a Final Plat approval for the Meadows Subdivision Unit IV. He said all infrastructure and the Engineer of Record is not in place. He said the Engineer has issued a cost requirement of a cash bond. He said it is not in the packet because the number is going down every day and will be solidified prior to going to Commission for their final approval.

Mr. Robinson said in the past the Board has approved a final plat with a cash bond. He said there are a few minor concrete replacements and an asphalt patch to be done. Mr. Randall said the Engineer of Record estimated the cost of the bond at about \$4000. Mr. Donahue made a motion, seconded by Mr. Kesner to approve the Final Plat with the cash bond. The vote on the motion was 5-0 and the motion carried.

10) Adjournment.

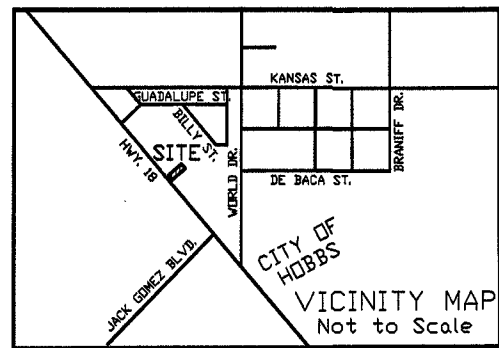
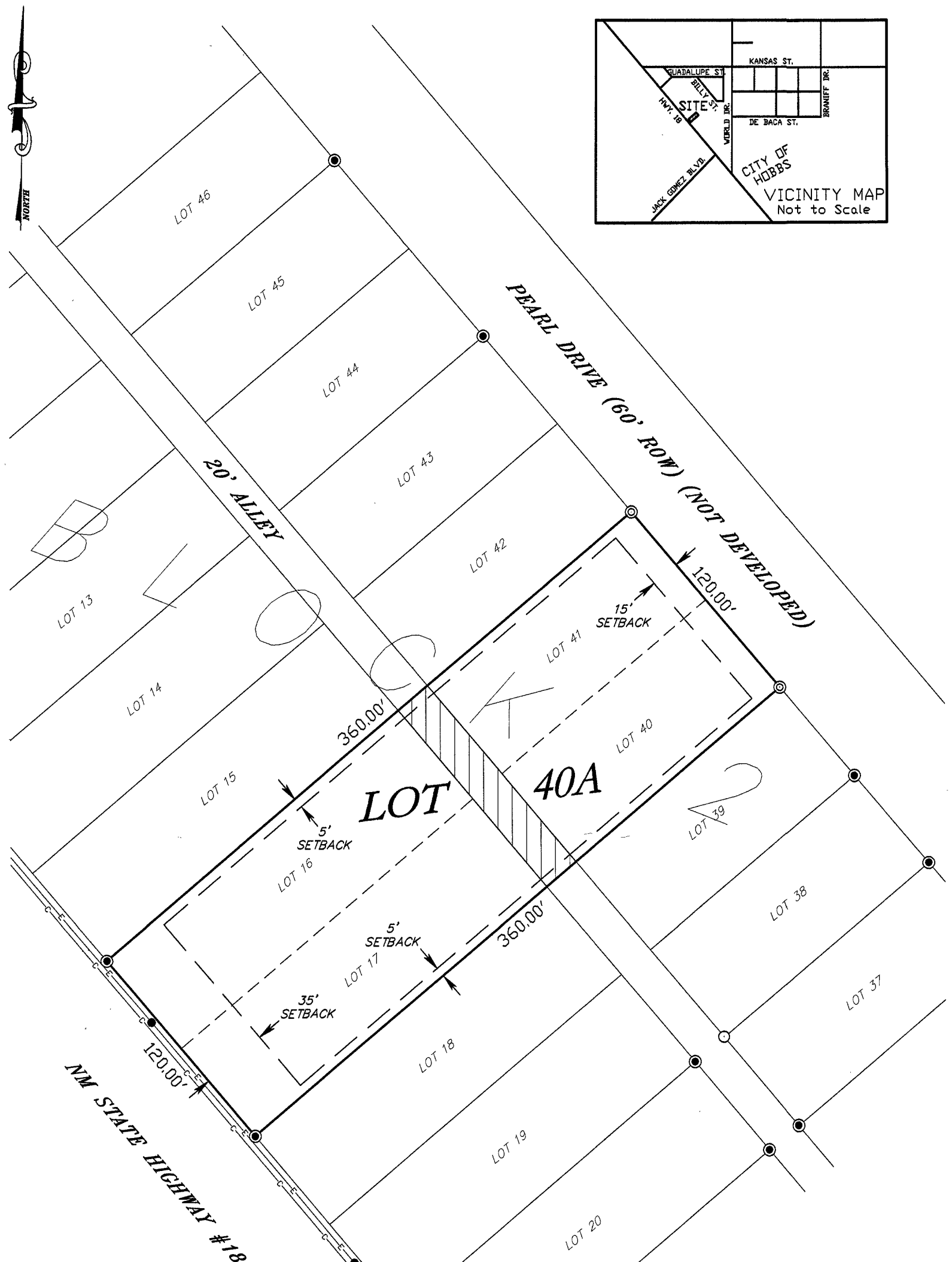
With nothing further to discuss the meeting adjourned at 11:28 am.

Tres Hicks, Chairman

March 16, 2021
Planning Board Regular Meeting

- 5) **Review and Consider Proposed Vacation & Replat of property located in the Extra-Territorial Jurisdiction within the Airbase City Subdivision.**

JOURDAN FAMILY TRUST LLC
SUMMARY REPLAT OF LOTS 16, 17, 40 & 41 OF BLOCK 2
AND VACATED 20' ALLEY OF THE AIR BASE CITY
SUBDIVISION, LEA COUNTY, NEW MEXICO.



CERTIFICATE OF MUNICIPAL APPROVAL:
 STATE OF NEW MEXICO
 COUNTY OF LEA

I, JAN FLETCHER, THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION NO. _____ ON THE _____ OF _____, 2021 A.D.

 JAN FLETCHER, CITY CLERK

ACKNOWLEDGEMENT:
 STATE OF NEW MEXICO
 COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 A.D. BY JAN FLETCHER.

 NOTARY PUBLIC

MY COMMISSION EXPIRES _____

CERTIFICATE OF APPROVAL BY THE LEA COUNTY PLANNING AND ZONING BOARD:

BE IT KNOWN THAT THIS SUMMARY REPLAT WAS SUBMITTED TO THE LEA COUNTY PLANNING AND ZONING BOARD ASSEMBLED AT A MEETING ON THE _____ DAY OF _____, 2021 A.D. AND THE SURVEY AS SHOWN IN THE ATTACHED PLAT WAS THEREBY APPROVED AND ACCEPTED BY A MAJORITY OF THE SAID BOARD.

 CHAIRMAN

ATTEST: KEITH MANES, LEA COUNTY CLERK

BY _____ DEPUTY

ACKNOWLEDGEMENT:
 STATE OF NEW MEXICO
 COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 A.D. BY _____ AND KEITH MANES.

 NOTARY PUBLIC

MY COMMISSION EXPIRES _____

NOTES:

THIS IS A SURVEY TO COMBINE LOTS 16, 17, 40 & 41 OF BLOCK 2 AND VACATE 20' ALLEY IN THE AIR BASE CITY SUBDIVISION AS CONVEYED TO JOURDAN FAMILY TRUST LLC AS DESCRIBED IN BOOK 1654, PAGE 661 OF THE LEA COUNTY RECORDS AND IS NOT A DIVISION OF LAND.

PURSUANT TO SECTION 47-6-7 (D) NMSA 1978 COMP., AND SECTION 7.3.6 OF THE LEA COUNTY SUBDIVISION ORDINANCE #35, THE RIGHTS OF ANY UTILITY IN THE AREA BEING VACATED EXISTING BEFORE THE DATE THIS VACATION PLAT IS FILED OF RECORD ARE NOT AFFECTED BY THIS PARTIAL VACATION.

LOCATIONS OF UTILITIES SHOWN ARE BASED ON ABOVE GROUND PHYSICAL EVIDENCE. A ONE CALL MUST BE MADE BEFORE EXCAVATING.

LEGAL DESCRIPTION

LOT 40A:

LOTS 16, 17, 40 & 41 OF BLOCK 2 AND THE 20 FEET OF VACATED ALLEY OF THE AIR BASE CITY SUBDIVISION, LEA COUNTY, NEW MEXICO.

OWNERS STATEMENT AND AFFIDAVIT

SAID LOT IS BEING REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) THEREOF, AND IS SURVEYED AND SUBDIVIDED AS THEY APPEAR ON THE PLAT AFFIXED HEREON, WITH ALL RIGHT OF WAYS SHOWN BEING DEDICATED TO THE PUBLIC.

 JOHN F. JOURDAN,
 GENERAL MANAGER FOR
 JOURDAN FAMILY TRUST LLC

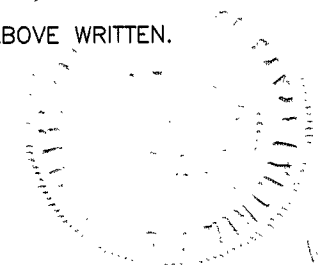
ACKNOWLEDGEMENT:
 STATE OF NEW MEXICO
 COUNTY OF LEA

ON THIS 21 DAY OF April, 2021 A.D. BEFORE ME PERSONALLY APPEARED John F. Jourdan KNOWN TO ME TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

MY COMMISSION EXPIRES: November 1, 2023

 Anthony C. Sherbridge
 NOTARY PUBLIC



CERTIFICATE OF APPROVAL BY THE CITY PLANNING BOARD:

THIS PLAT IS APPROVED AND ACCEPTED BY THE CITY PLANNING BOARD OF HOBBS, NEW MEXICO AND SIGNED ON ITS BEHALF BY ITS CHAIRMAN ON THE _____ DAY OF _____, 2021 A.D.

 WILLIAM HICKS - CHAIRMAN

ACKNOWLEDGEMENT:
 STATE OF NEW MEXICO
 COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 A.D. BY WILLIAM HICKS.

 NOTARY PUBLIC

MY COMMISSION EXPIRES _____

SURVEYORS CERTIFICATE

I, TERRY J. ASEL, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 15079, DO HEREBY CERTIFY THAT I CONDUCTED AND AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND MEETS THE "MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO" AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS.

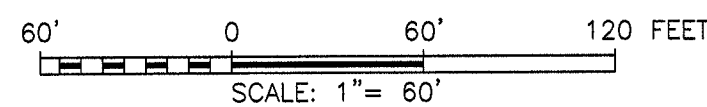
 Terry J. Asel
 N.M. R.P.L.S. No. 15079

4/19/2021
 DATE



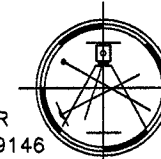
LEGEND

- — DENOTES FOUND 1/2" REBAR
- ⊙ — DENOTES SET 1/2" REBAR W/PVC CAP MARKED "NM 15079 TX 5204"
- — DENOTES FOUND 1/2" REBAR W/PVC CAP MARKED "PS12641"
- DENOTES ORIGINAL LOT LINE
- - - DENOTES OVERHEAD ELECTRIC LINE
- — DENOTES POWER POLE
- DENOTES BURIED FIBEROPTIC CABLE
- ▨ — DENOTES 20' VACATED ALLEY
- DENOTES SETBACK LINE



Asel Surveying

P.O. BOX 393 - 310 W. TAYLOR
 HOBBS, NEW MEXICO - 575-393-9146



County Clerk Recording Information

JOURDAN FAMILY TRUST LLC	Work Order #210129PS (Rev. A)
Date Surveyed: 1/29/2021	Surveyed by: TJA
DWG #210129PS (Rev. A).dwg	Drafted By: KA
Scale: 1" = 60'	Sheet 1 of 1



KANSAS

PEARL

GUADALUPE

SACRAMENTO

BILLY

LOVINGTON

WORLD



Subject Property

JACK GOMEZ



March 16, 2021
Planning Board Regular Meeting

- 6) Review and Consider Front Yard Setback Variance as submitted by property owner for property located at 1001 W. Hollis Drive.**



PLANNING DIVISION

200 E. Broadway St.
Hobbs, NM 88240
575-397-9351 bus
575- 397-9227 fax

City of Hobbs, New Mexico

Robert Gonzales
1001 W. Hollis Dr.
Hobbs, NM 88240

Subject: Front Yard Setback Variance (Major Thoroughfare Plan) for 1001 W. Hollis Dr.

Date: April 28, 2021

The following Administrative Variance to the Hobbs Major Thoroughfare Plan is hereby granted at 1001 W. Hollis Dr., to Robert Gonzales, property owner(s), by the City of Hobbs, New Mexico. Minimum Front Yard Setback in this location should be 21' from the property line. However, the new structure will be 5' from the property line (15' from back of curb) resulting in the need of a setback variance of 16' feet.

This variance allows the placement of a new **open walled structure** utilizing the above setbacks to be located at 1001 W. Hollis Dr., pursuant to an approved site plan, based on the facts: 1) the application was properly submitted; 2) the structure is consistent with other structures within the vicinity; 3) no negative impact is associated with granting the variance; and 4) adjacent property owners were notified of the proposed variance.

This Variance is issued with the following conditions:

Building permit must be obtained for the structure. The entirety of the structure can be no closer than 5' to the property line (15' from back of curb). To the applicant's best knowledge, there are no current deed restrictions which may affect this use at this address

Sincerely,

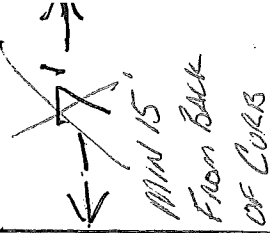
CITY OF HOBBS, NEW MEXICO

A handwritten signature in blue ink, appearing to read "Kevin Robinson", is written over a horizontal line.

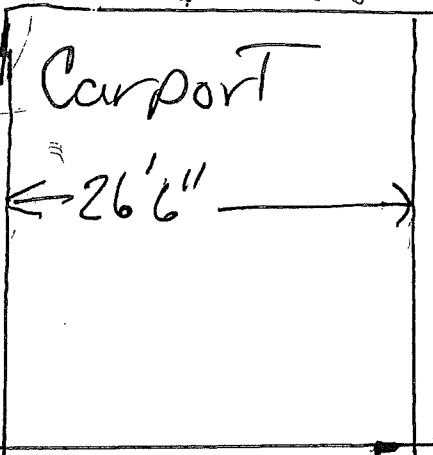
Kevin Robinson – Planning Department

Hollis

Robert Gonzalez
575-393-7777



30'



1001 W Hollis dr.
HOUSE

24'

107'

Coleman

Garage

Carport

26'6"

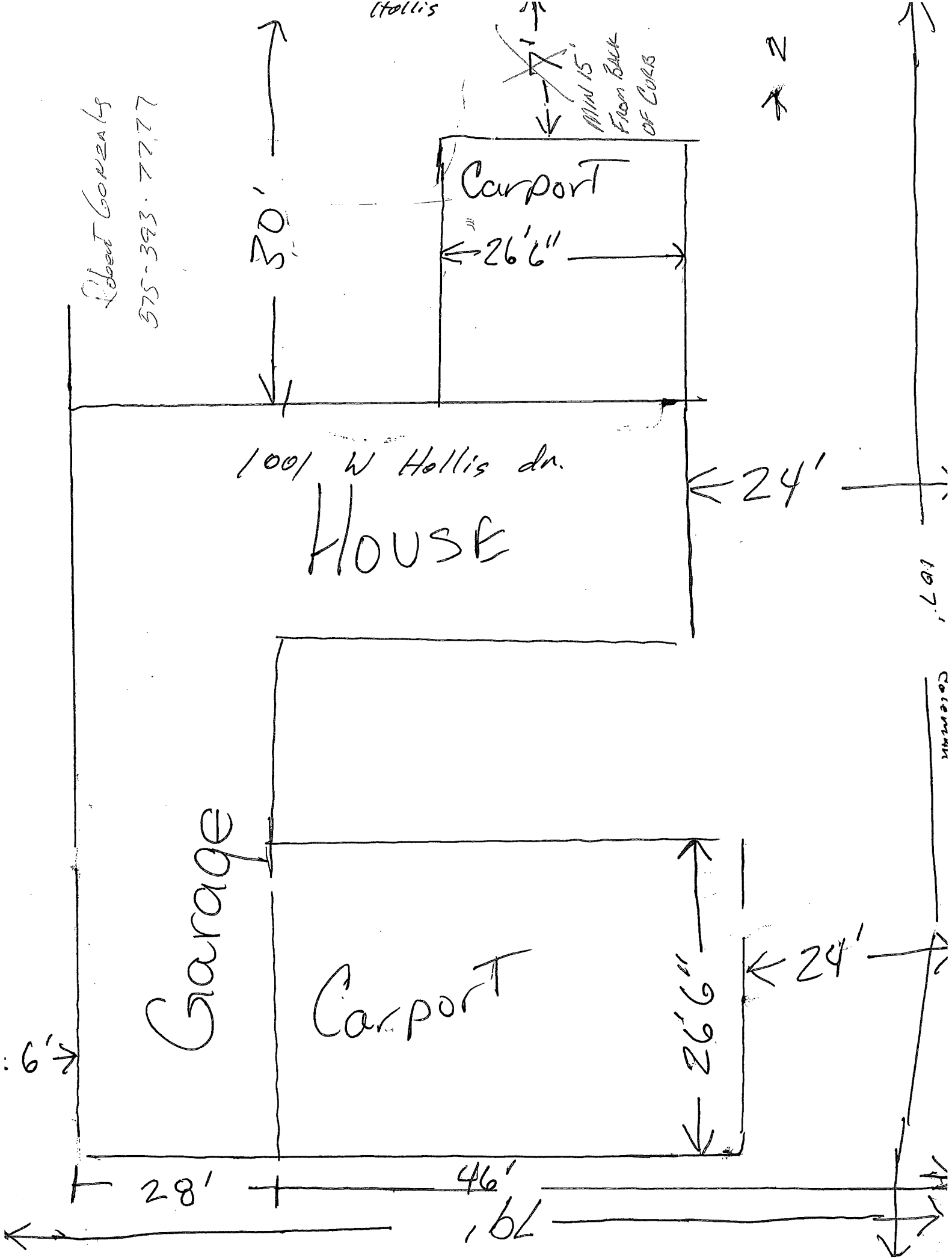
24'

6'

28'

46'

79'



From: Kevin Robinson
Sent: Wednesday, May 12, 2021 12:54 PM
To: Mary Gonzales
Subject: Re: EXTERNAL: Variance Request

The City of Hobbs Planning Board does not have the authority to allow an encroachment of the public property, however they would be able to approve a variance for the entirety of the structure located 10' from the back of curb. We will take your request as noted above to the Planning Board on the 18th.

Sent from my iPhone

On May 12, 2021, at 12:15 PM, Mary Gonzales <red56badtrk@outlook.com> wrote:

Kevin Robinson,

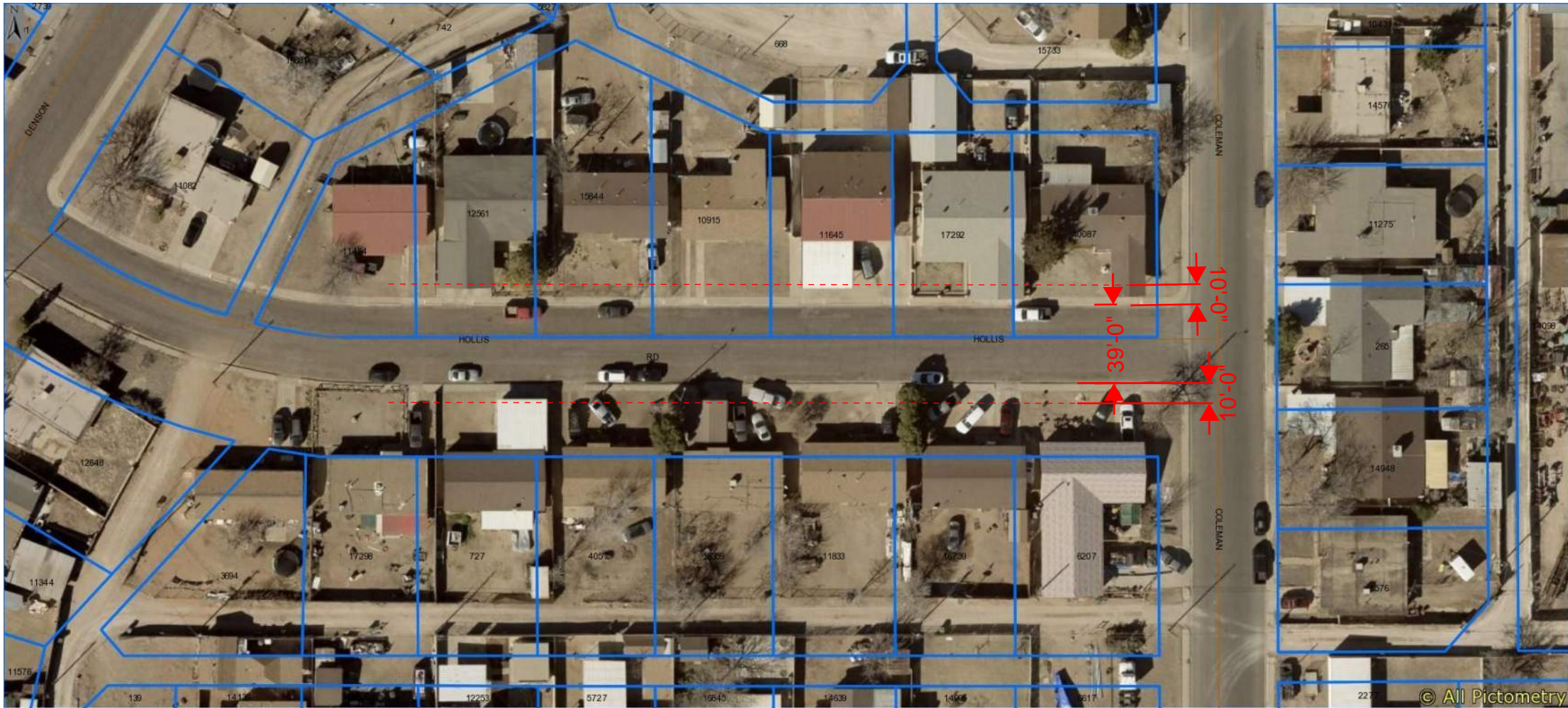
I am requesting a Variance of 10 feet behind the curb for the post supporting the carport and 6 feet behind the curb for roof overhang . This is a canterlever type setup for 1001 Hollis Dr Hobbs NM.

Sincerely

Mr.& Mrs. Robert Gonzales

Sent from [Mail](#) for Windows 10

Hollis



02/20/2021

March 16, 2021
Planning Board Regular Meeting

- 7) **Review and Consider FY 2021-2022 Market Rate Multi-Family & Single Family Housing Municipal Infrastructure Reimbursement Incentive & Public Participation Infrastructure Extension Development Agreement Policy.**

Fiscal Year 2021-2022
Market Rate Multi-Family & Single Family Housing
Municipal Infrastructure Reimbursement Incentive &
Public Participation Infrastructure Extension
Development Agreement Policy

Housing Incentive Policy:

1. **Yearly Program Budget:** City Commission will determine funding levels for this policy and may increase or decrease levels from time to time.
2. **Development Agreement:** Each encumbrance to the budget will be supported by a Commission approved Development Agreement.
3. **Incentives** are available for public municipal infrastructure only, providing compliance with:
 - a. Incentive not to exceed per square footage basis:
 - i. \$5.00 per sq. ft. north of Sanger
 - ii. \$10.00 per sq. ft. south of Sanger
 - iii. Calculation based on living area only
 - b. Incentive not to exceed per unit basis:
 - i. \$5,000.00 per single family unit
 - ii. \$2,500.00 per multi-family unit
 - c. Incentive not to exceed fair share per linear foot of infrastructure basis:
 - i. \$90.00 per lineal front footage of complete public infrastructure, and further broken down as follows:
 1. **Water** (\$12.50 / lf):
 - a. Twelve dollars fifty cents (\$12.50) per equivalent front foot of lot to which water service is provided (8" minimum service single family & 10" minimum service for multi-family);
 2. **Sewer** (\$17.50 / lf):
 - a. Seventeen dollars fifty cents (\$17.50) per equivalent front foot of lot to which sewer service is provided (8" minimum service single family & 10" minimum service for multi-family);
 3. **Street** (\$45/ lf):
 - a. Forty five dollars (\$45) per equivalent front foot of lot to which street is provided (built to Minor Residential standards as promulgated within the City of Hobbs Major Thoroughfare Plan);
 4. **Sidewalk**:
 - a. Fifteen (\$15) per equivalent front foot of lot to which sidewalk (includes driveway with ADA accessible path) is provided;
4. **Market Rate Single Family Development Agreement:** Development Agreement not to exceed \$100,000.00 nor be less than \$15,000.00, producing no less than 3 units. A Developer holding an active DA shall be required to complete no less than 75% of the DA prior to requesting a new Incentive Development Agreement. The term for any DA shall be limited to 12 months, unless otherwise approved by the City Commission. Funds to be disbursed after issuance of Certificate of Occupancies per unit.
5. **Market Rate Multi-Family Development Agreement:** Development Agreement not to exceed \$125,000.00 nor be less than \$30,000.00. The term for any DA shall be limited to 18 months, unless otherwise approved by the City Commission. Funds to be disbursed after issuance of Final Certificate of Occupancy.

Public Participation Infrastructure Extension Development Agreement Policy:

1. **Yearly Program Budget:** City Commission will determine funding levels for this policy and may increase or decrease levels from time to time.
2. **Development Agreement:** May only be considered for Thoroughfares greater than a Minor Residential as specified in the City of Hobbs Major Thoroughfare Plan. Utility only extensions shall be compliant with the Utility Service Policy as adopted. Any public participation for the extension of Public Infrastructure shall be approved by the City Commission by Resolution and the Development Agreement shall specify City's participation maximum and any associated infrastructure assessment terms.
3. **Fair Share Participation:** In areas where the property owner does not have beneficial use of both sides of a roadway / utility corridor, the City Commission may consider public participation for new public infrastructure up to 50% of the base infrastructure requirements and any eligible oversize participation.
4. **Public Participation:** Infrastructure located wholly within Developers holdings giving Developer beneficial use of both sides of Infrastructure may receive public participation not to exceed 50% of actual certified costs, providing public participation is recouped via future assessment triggered either by subdivisions or development adjacent thereto.
5. **Oversize Participation:** The City may require and participate in the oversize of public infrastructure above the minimum base infrastructure.
6. **Base Infrastructure:** The minimum base roadway width is 41' back of curb to back of curb, minimum base utility is 10" water and 10" sewer and minimum base trench depth is 10'. Any public requirement above the minimums will be paid 100% by the public.
7. **Maximum Participation:** An Infrastructure Participation Development Agreement should not exceed \$500,000.00 nor be less than \$50,000.00.
8. **Engineer of Record:** Engineer of Record Certification and Dedications must be in place prior to or occur concurrently with disbursement.

March 16, 2021
Planning Board Regular Meeting

- 8) Review and Consider Preliminary Plan Approval Zia Crossing Unit 8, as presented by property owner, Black Gold Estates.**

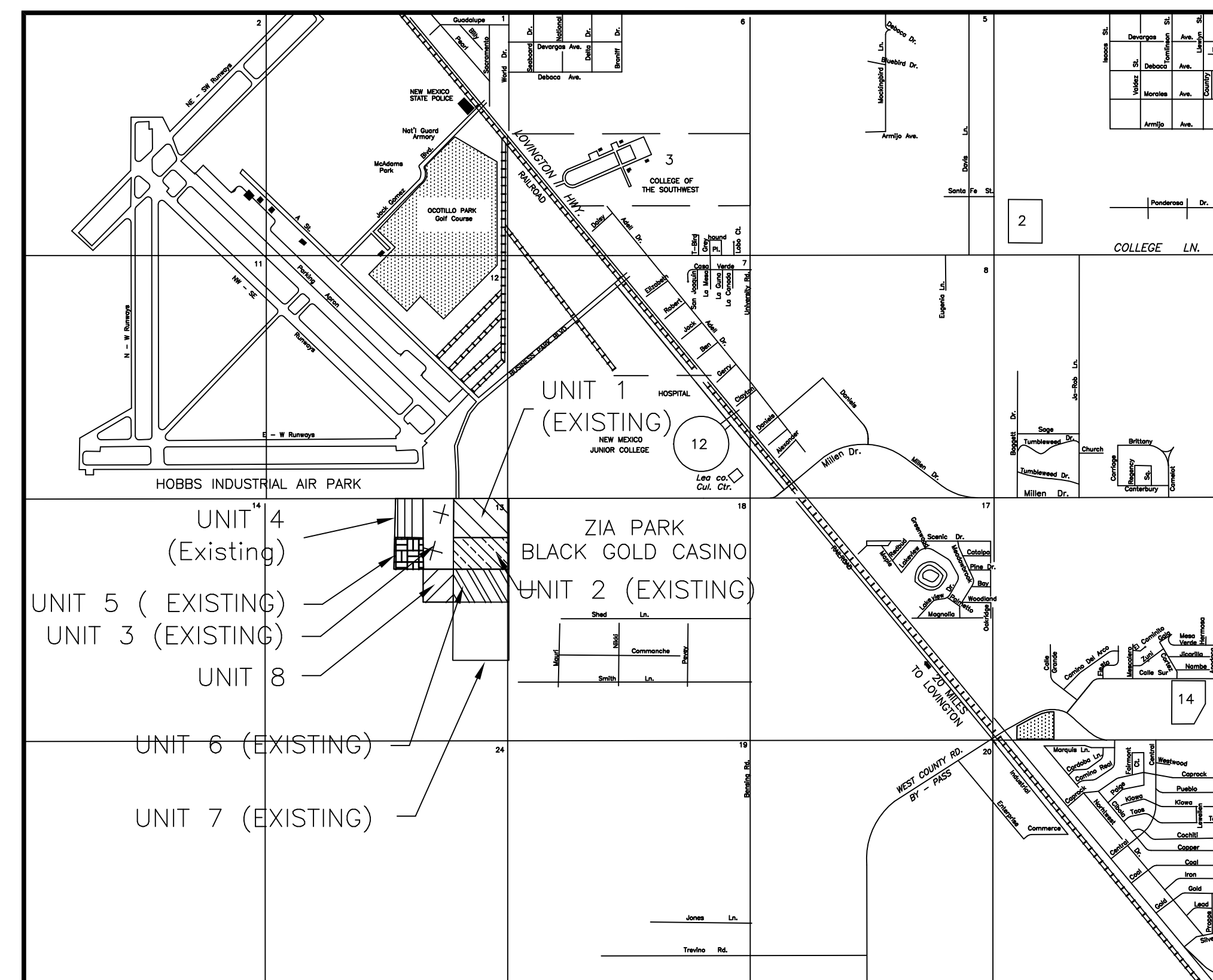
SUBDIVISION PLANS ZIA CROSSING, UNIT 8

CITY OF HOBBS
LEA COUNTY, NEW MEXICO
NE/4 OF SECTION 13, TOWNSHIP 18 SOUTH RANGE 37 EAST

MAY, 2021

INDEX OF SHEETS

SHEET	DESCRIPTION
A1	COVER SHEET, INDEX OF DRAWINGS & LOCATION MAP
A2	GENERAL NOTES & MATERIALS SPECIFICATIONS
A3	MASTER LAYOUT
A4	PRELIMINARY PLAT PROVIDED BY FOUR CORNERS SURVEYING
B1	PADDOCK PLAN & PROFILE
B2	LONGTAIL PLAN & PROFILE
B3	GRAY GHOST PLAN & PROFILE
B4	KING KELLY PLAN & PROFILE
I1	INTERSECTION DETAILS
I2	INTERSECTION DETAILS CONT.
W1	WATER DETAILS
R1	ROADWAY DETAILS
S1	SEWER DETAILS
U1	UNDERGROUND ELECTRIC/TELEPHONE/CABLE TRENCH LAYOUT <small>(Provided by Xcel Energy)</small>
U2	ELEC/TELE/CABLE TRENCH DETAILS & USPS CLUSTER BOX DETAILS



LOCATION MAP

Not to Scale

410 n. dal paso
 hobbs, new mexico 88240
 (575) 392-7918 bus
 (575) 392-9114 fax

SPECIFICATIONS: Street Construction

- All work shall meet or exceed the applicable requirements of the "New Mexico Standard Specifications for Public Works Construction" 1987 Edition (herein—after abbreviated NMSS), except as otherwise specified herein.
- Earthwork shall be considered incidental to the street construction unless otherwise indicated in the bid proposal. All roots and other vegetation shall be removed from areas to be covered by asphalt or concrete. The subgrade shall be accurately shaped to lines and grades as indicated on the drawings and compacted as indicated on the details. Minimum compaction in areas not otherwise shown shall be 90% of the maximum density as determined by ASTM D-1557, Method A.
- All Portland Cement Concrete for pavement shall conform to NMSH&TD Specification— Section 451 or Section 503, for structures. The contractor shall submit a proposed job mix for the engineer's approval in ample time before placing any concrete.
- Base course materials and placement shall conform to the requirements of NMSH&TD Specification, Section 304—Base Course. The contractor shall submit an aggregate analysis for the engineer's approval in ample time before placing any base course material.
- Prime coat material and placement shall conform to the requirements of NMSH&TD Specifications, Section 408—Prime Coat. The contractor shall submit certification of quality for his proposed material for the engineer's approval in ample time before placing any prime coat.
- Asphaltic concrete surface course material and placement shall conform to the requirements of NMSH&TD Specification, Section 420 OR 422—Plant Mix Bituminous Pavement (Dense Graded or Super Pave). The contractor shall submit a proposed mix design for the engineer's approval in ample time before placing any surface course.
- The water and sewer contractor shall complete his work, including trench compaction and clean-up, in any one street before the paving contractor starts final subgrade preparation for the street construction. Final adjustment to grade of valve boxes and manhole covers, pouring concrete collars, etc., shall be left for the paving contractor.
- All construction, including compaction, shall be guaranteed for a period of 12 months after completion of construction.

SPECIFICATIONS – Water and Sewer Systems

- All work shall meet or exceed the applicable requirements of the "New Mexico Standard Specifications for Public Works Construction", 1987 Edition (herein—after abbreviated NMSS), except as otherwise specified herein.
- Manufacturer's brochure cuts, and certificates of quality where applicable, shall be submitted for the engineer's approval for all items installed on the job.
- Water mains shall be PVC Water Pressure Pipe, Class 150, DR 18, C-900 water pipe as specified in NMSS Section 121, joints may be either mechanical or push-on type except where otherwise specifically indicated, or shall be Polyethylene Water Pressure Pipe, DR 17 as specified by AWWA C-906.
- The use of tapping sleeves for connection to existing mains or repair sleeves will not be permitted except with the express permission of the engineer for each instance.
- Water service lines shall be 1" diameter, polyethylene tubing and accessories shall conform with NMSS Section 560.2 – Water Service Pipe.
- All sections of new water mains shall be hydrostatically tested in accordance with AWWA C-600, Sec. 13, in the presence of the engineer and a city representative. The contractor shall furnish all equipment and labor required to make the tests. The mains shall be tested with the service connections complete in place. The leakage shall not exceed the calculated allowable leakage as specified in test sheet 801.16.2 in NMSS Section 801. The contractor shall locate and repair all leaks until there are no visible leaks and the overall leakage is within the specified maximum.
- Sanitary sewer pipe shall be Polyvinyl Chloride (PVC) pipe, DR 35, as specified in the NMSS Section 121.
- Manholes shall be constructed with precast reinforced concrete sections conforming to ASTM C-478. Block manholes are expressly prohibited. All portland cement concrete and mortar used in manhole construction shall utilize Type II cement. Care shall be taken to properly finish manhole inverts.
- The water and sewer contractor shall complete his work, including trench compaction and clean-up, in any one street before the paving contractor starts final subgrade preparation for the street construction. Final adjustment to grade of valve boxes and manhole covers, pouring concrete collars, etc., shall be left for the paving contractor.
- All water mains shall be chlorinated as specified in NMSS Section 801.17. Each service connection shall be operated to thoroughly flush the lines on completion.
- All construction, including compaction, shall be guaranteed for a period of 12 months after completion of construction.
- All service line connections for water and sewer shall be made with fittings specifically for the material used, and as per the manufacturer's installation requirements.

NOTES – Water and Sewer Construction

- Sewer services shall be located 5 feet ± down-stream from the center of the lot frontage except where otherwise indicated on the plans. Opposing connections shall be spaced at least 4 feet apart along the sewer mains. Water services shall be located 5 feet ± upstream from the common lot lines except where otherwise indicated on the plans, and 10 feet minimum away from the sewer services. Water taps shall be spaced at least 2 feet apart on the water mains.
- Stationing is as shown on the plan and profile sheets.
- Water mains shall not be located less than 10 feet away from sewer lines nor closer than 3 feet to the lip of the curb and gutter, except where lines cross.
- Where a water line passes beneath or less than 18 inches above a sewer line, the sewer line shall be encased in concrete 6 inches thick as shown in the "Standard Details" for at least 10 feet on each side of the water line, or the sewer line shall be Ductile or Cast Iron Pipe with pressure-type joints for 10 feet on each side of the water line. This shall also apply where a parallel water line is less than 10 feet horizontally and less than 2 feet above the sewer.

GENERAL NOTES:

- Testing of construction materials, including subgrade compaction, shall be performed as required by the engineer and at the expense of the owner, except that the contractor shall pay for any re-testing required. The contractor shall cooperate in allowing opportunity for testing and furnishing samples and job site assistance as required. The contractor shall furnish manufacturer's certificates of quality as required.
- The contractor shall maintain a reasonably clean job site throughout the construction period and at completion shall remove all debris and dress up all areas disturbed by his operations.
- Measurement and payment of the various items of construction shall be made by the units indicated in the bid proposal and at the unit prices bid, work and materials not specifically called out in the bid proposal shall be considered incidental to the nearest associated item listed in the proposal.
- The contractor shall do his own layout and construction staking from bench marks and centerline reference points furnished by the owner. The contractor shall be responsible for properly referencing all triangulation stations, bench marks, monuments, and grant markers, section corners, or other permanent reference marker, that may be destroyed during the construction of this project. The Project Manager, at the contractor's expense, shall reference and reset destroyed monuments according to government regulations and state law. Design survey for Owner provided by John West Surveying Company.
- Haul shall be considered incidental to construction, and no direct payment shall be made.
- For estimating purposes only, earthwork quantities are based on a shrinkage factor of 0% in roadway embankment and 0% swell in roadway excavation.
- No underground utilities (water or sewer) shall be backfilled prior to inspection and approval by the ENGINEER. Any backfill placed prior to inspection and approval will be removed at the contractor's expense.
- Locations of all existing utilities shown were taken from record drawings or field surveys and are located as accurately as possible from information available. It will be the contractor's responsibility to protect, maintain in service, and at points required, verify exact locations of these utilities during construction operations of this project.
- The contractor shall never unnecessarily interfere with or interrupt the services of any public utility having property within or adjacent to the construction area. He shall give all public utility companies a reasonable notice in writing, in no event less than 48 hours, for any work that he contemplates would interfere in any what whatsoever with the service of any existing public utility and city-owned facility.
- When construction under this project connects to existing improvements the contractor shall build an easy-riding connection.
- When abutting new pavement to edges of existing pavement, the existing pavement shall be cut a straight neat edge and tack coat shall be applied to edges of existing pavement prior to beginning of new pavement operations.
- The Contractor shall coordinate any work required by others in the construction area with the construction of this project.
- No underground utilities (water or sewer) shall be backfilled prior to inspection and approval by the CITY OF HOBBS. Any backfill placed prior to inspection and approval will be removed at the contractor's expense.
- Where proposed elevations in the plans are shown with two digits preceding the decimal, it shall be assumed that 3600 feet is to be added.
- All concrete shall contain fiber reinforcement. Fiber reinforcement shall be virgin polypropylene strands approximately 3/4 inches in length, mixed into the concrete at a rate of 1.5 pounds per cubic yard or fibers shall be Anti-Crack HD (AR glass fibers) as manufactured by Saint-Gobain Vetrotex America and mixed into the concrete at a rate of 1.0 pounds per cubic yard (fiber length 3/4 inch). Use of fiber reinforcement does NOT substitute for any structural reinforcement required by the project drawings and contract documents. No separate measurement or payment will be made for fiber reinforcement, it shall be considered incidental to the item being installed.
- Construction will not be considered complete until all drainage structures, including new curband gutter, are tested flowing and found satisfactory by the project manager. Finished concrete grade tolerance shall not deviate from those shown on the plans by more than =/- 0.002 feet. This shall be considered incidental to the construction of this project.

MATERIAL SPECIFICATION:

Materials and equipment used in the installation of water and sewer improvements shall be in accordance with the City of Hobbs standards and shall be new and unused, manufactured in compliance with standards published by the American Society for Testing and Materials (ASTM), the American Water Works Association (AWWA) or other published applicable standards.

Where specific items are called for by name, make, or catalog number such reference shall be interpreted as establishing a standard quality and not construed as limiting competition. The use of substitutes is permissible in most cases, provided written requires and proper certification are submitted to the ENGINEER for review and approval prior to Bid Opening for City of Hobbs approval.

SANITARY SEWER

- Collector: PVC, SDR 26 (under 18" Dia.) (Stiffness of 46 for over 18" Dia.), push-on, gasketed (or glued) sewer pipe.
- Service: PVC, SCH 40 or SDR 21, push-on, gasketed (or glued) sewer pipe.
- Fittings: PVC, SCH 40, push-on, gasketed sewer pipe.
- Manholes: Fiberglass (preferred) or Precast reinforced concrete, 4 ft. inside diameter, type "C" Concentric manholes.
- Manhole rim and Lid: A. Vented in pavement areas, East Jordan Iron Works #41430120A01 or approved equal. Frame & cover shall be AASHTO H-20 load rated, Ductile iron castings shall be grade 70-50-05 conforming to ASTM A536 (latest edition), Grey iron castings shall be CL35 conforming to ASTM A448 (latest edition), frame & cover to be uncoated. (See Details)
B. Sealing in drainage swale and bar-ditch areas, shall be as required by the City of Hobbs.
- Force Mains: HDPE DR 13.4 C-906 (WPR 130 psi) or PVC DR 14 Class 200 C-900 (WPR 145 psi).

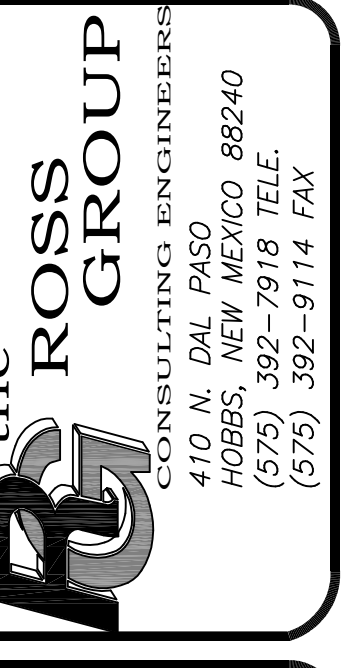
POTABLE WATER

- Distribution Lines: PVC, DR 18, Class 150, C-900 push-on, gasketed water pipe – OR – HDPE, DR 17, C-906 blue or blue stripe.
- Fittings: Mechanical joint (MJ), class 250 or 350 S.S.B. type, ductile iron pipe fittings for PVC. Polyethylene fittings may be MJ or fused fittings, ductile iron pipe sizes. All HDPE pipe shall utilize MJ adapters when connection to Ductile Iron Fittings. Mega Lug restrained fittings shall be used along with concrete thrust blocking. Valves may be FL X MJ when connected at fittings.
- Gate Valves: Mueller bonded resilient seat, non-raising stem type, mechanical joint, fuse bonded epoxy coated inside and out, 2 inch operating nut, opens counter-clockwise. Valves may be FL x MJ when connected at fittings.
- Fire Hydrants: Kennedy Guardian – K81D Main valve fire hydrant, Exterior painted "chrome yellow" as per NM APWA specs.
- Valve Boxes: Tyler 461S, or equal
- Water Meter Box – Regular Meter Box – East Jordan product number 32234002A04, round 18" x 18" and DFW Plastics Inc. plastic blue cover product number (18AMR-49).



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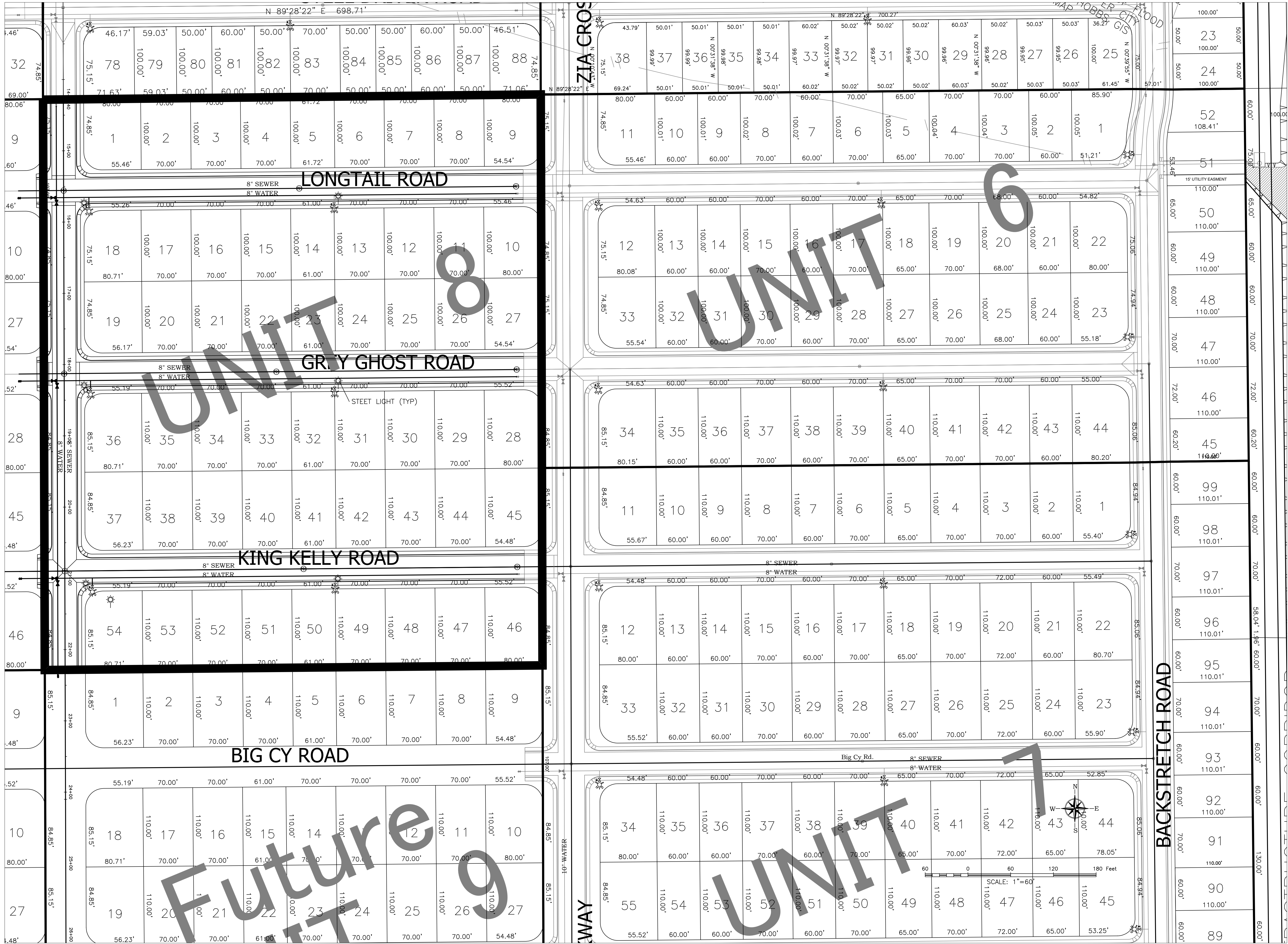
ZIA CROSSING, LLC
ZIA CROSSING UNIT 8
GENERAL NOTES AND
MATERIALS SPECIFICATIONS



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5-7-21	ZIA8
File Name:	Job No.:
GEN NOTES	

SHEET
A2
A2 of A4 sheets

ORIGINAL DRAWING SIZE 24" X 36"



ORIGINAL DRAWING SIZE 24" X 36"

NO.	DATE	REVISIONS:
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4		
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BY	CHK	ENGR	APP.

ZIA CROSSING UNIT 8
MASTER LAYOUT

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBES, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

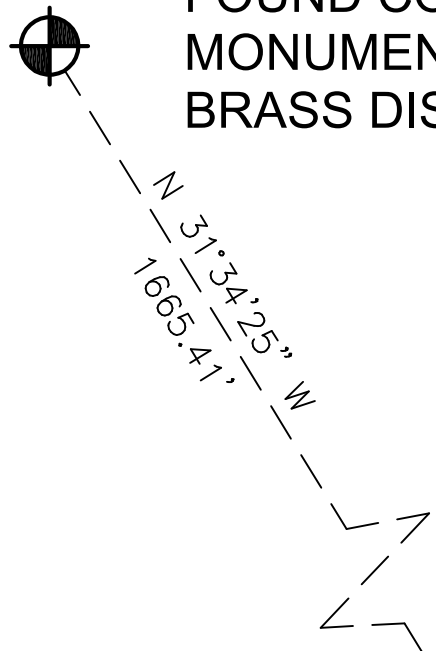
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4/20/2021	GENERAL
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BASE	

SHEET
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A4 of A4 sheets

ZIA CROSSING SUBDIVISION PHASE II, UNIT 8 = 54 LOTS

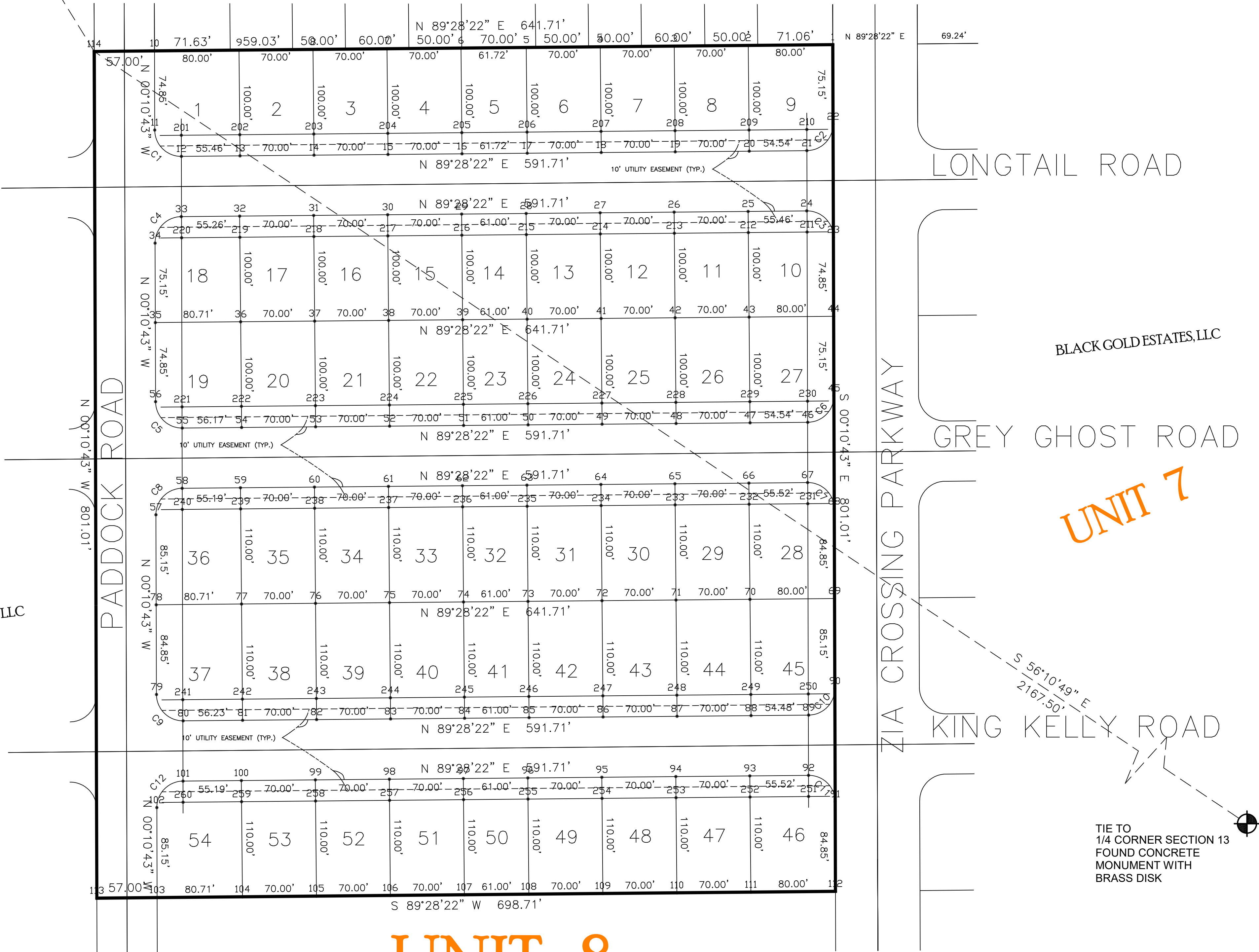
TOTAL ACREAGE = 12.84 AC.

N1/4 CORNER SECTION 13
FOUND CONCRETE
MONUMENT WITH
BRASS DISK



BLACK GOLDESTATES, LLC

UNIT 3



BLACK GOLDESTATES, LLC

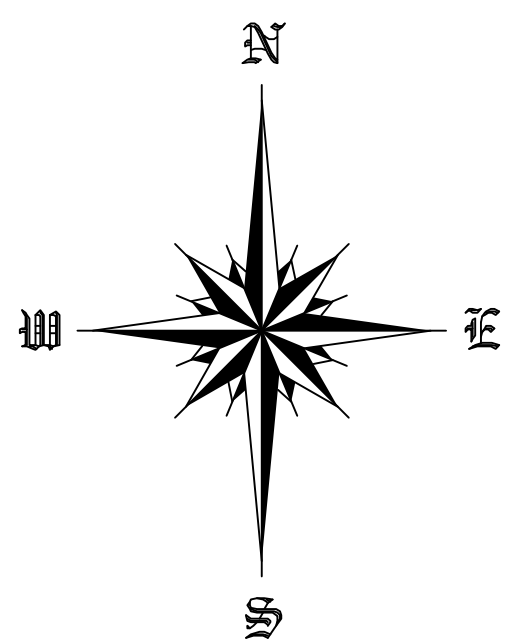
BLACK GOLDESTATES, LLC

UNIT 7

TIE TO
1/4 CORNER SECTION 13
FOUND CONCRETE
MONUMENT WITH
BRASS DISK

UNIT 8

BLACK GOLDESTATES, LLC



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00'	39.42'	35.46'	S 45°21'11\"	90°20'55\"
C2	25.00'	39.12'	35.25'	N 44°38'49\"	89°39'05\"
C3	25.00'	39.42'	35.46'	N 45°21'11\"	90°20'55\"
C4	25.00'	39.12'	35.25'	S 44°38'49\"	89°39'05\"
C5	25.00'	39.42'	35.46'	S 45°21'11\"	90°20'55\"
C6	25.00'	39.12'	35.25'	N 44°38'49\"	89°39'05\"
C7	25.00'	39.42'	35.46'	S 45°21'11\"	90°20'55\"
C8	25.00'	39.12'	35.25'	N 44°38'49\"	89°39'05\"
C9	25.00'	39.42'	35.46'	N 45°21'11\"	90°20'55\"
C10	25.00'	39.12'	35.25'	S 44°38'49\"	89°39'05\"
C11	25.00'	39.42'	35.46'	S 45°21'11\"	90°20'55\"
C12	25.00'	39.12'	35.25'	N 44°38'49\"	89°39'05\"

ZIA CROSSING PARKWAY = 80' ROW
KING KELLY ROAD = 57' ROW
GREY GHOST ROAD = 57' ROW
LONGTAIL ROAD = 57' ROW
PADDOCK ROAD = 57' ROW

LEGEND:

THESE STANDARD SYMBOLS MAY BE FOUND IN THE DRAWING.

POINT AS DESCRIBED HEREON

SUBDIVISION BOUNDARY

CENTERLINE OF ROAD

SET 1/2" REBAR WITH PLASTIC CAP LS8685
AT ALL CORNERS AND BEGINNING AND END
OF CURVES

FOUR CORNERS SURVEYING, INC.
21150 COUNTY ROAD U, CORTEZ, CO 81321
970-882-4241

DRAWN	DATE	ZIA CROSSING SUBDIVISION
RAB	4/16/2021	PHASE II, UNIT 8
APPROVED	DATE	CITY OF HOBBS, NEW MEXICO

SCALE	SHEET	PROJECT NO.
1" = 60'	2 OF 2	925UNIT8SHT2

10' UG ELECTRIC EASEMENT



NO.	REVISIONS	BY	DATE	DES

DATE: 6/23/15
 SCALE: H: 1" = 50'
 V: 1" = 5'

the ROSS GROUP
 CONSULTING ENGINEERS

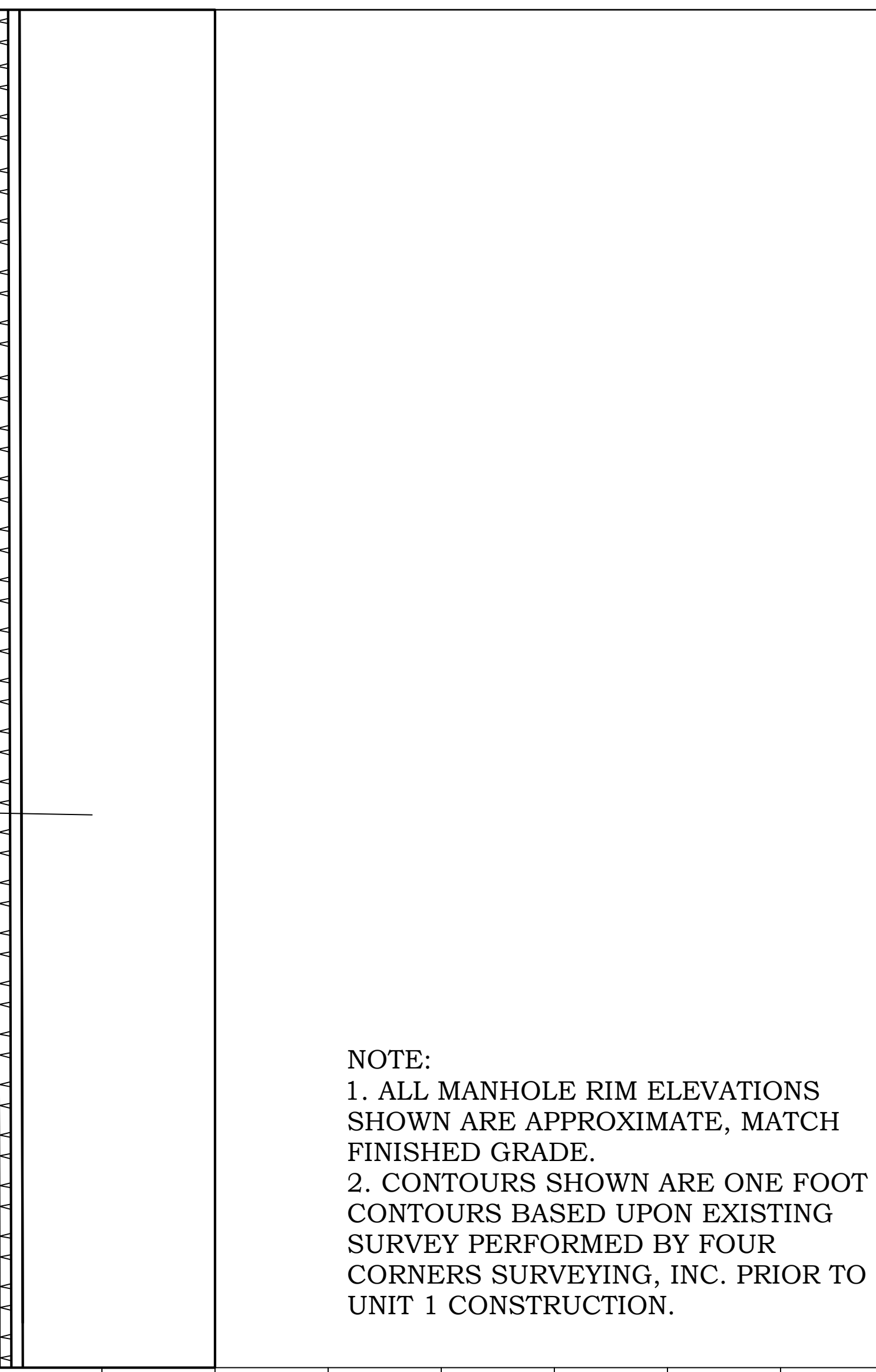
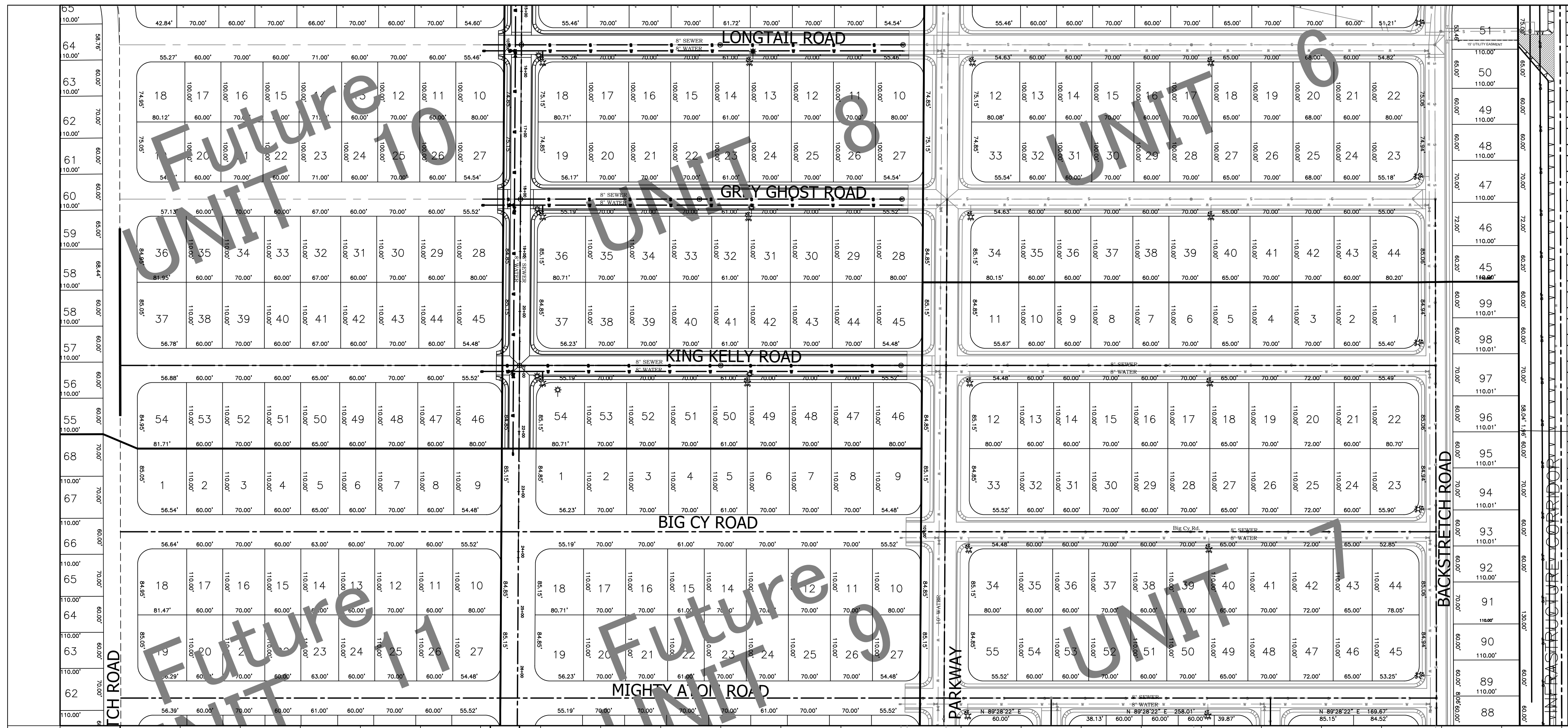
410 N. Dal Paso
 Hobbs, New Mexico 88240
 Telephone (575) 392-7918
 Fax (575) 392-9114

ZIA CROSSING UNIT 8
 PHASE 2

PADDOCK PLAN & PROFILE
 STA 14+27.4 TO 22+28.27

SHEET
 OF
 B4

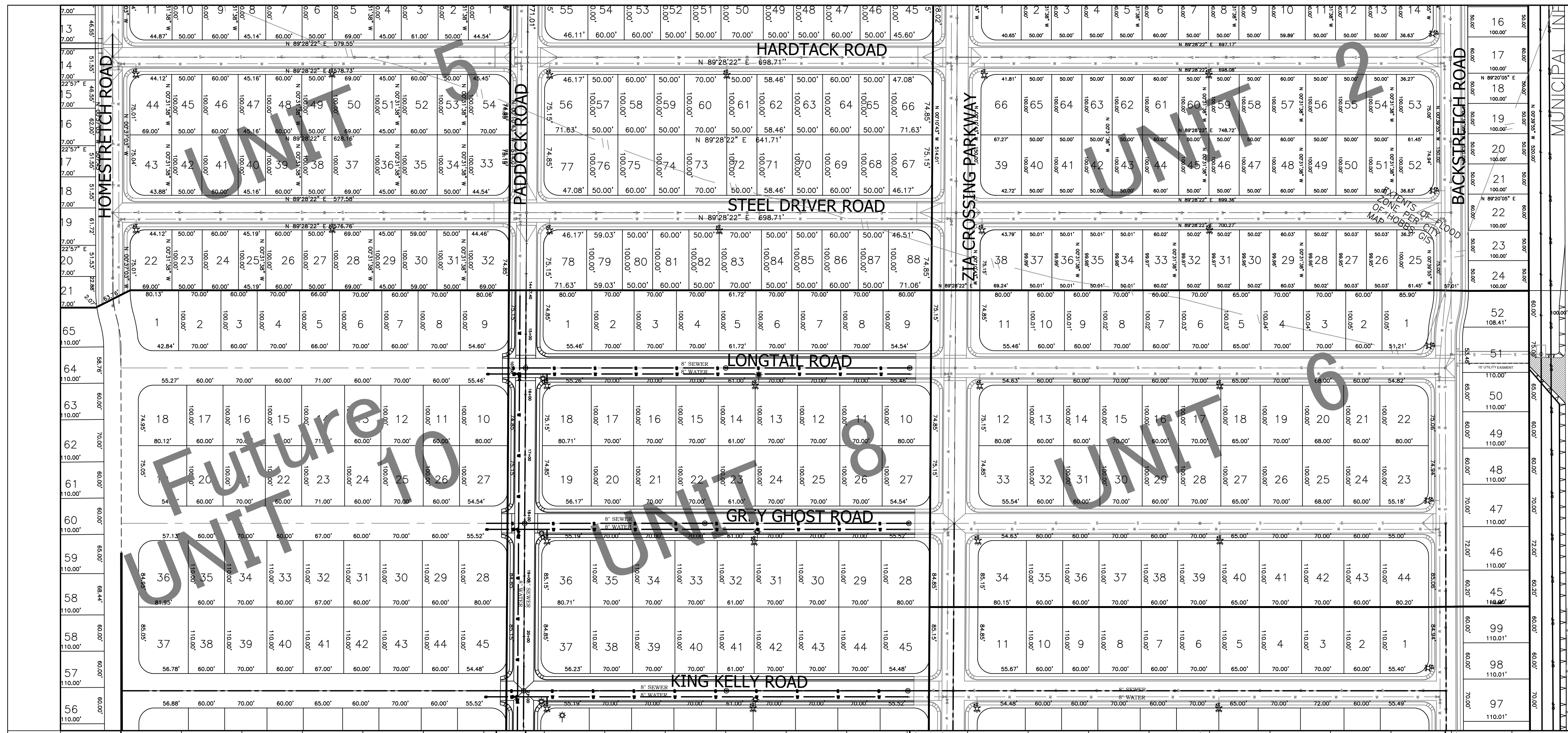
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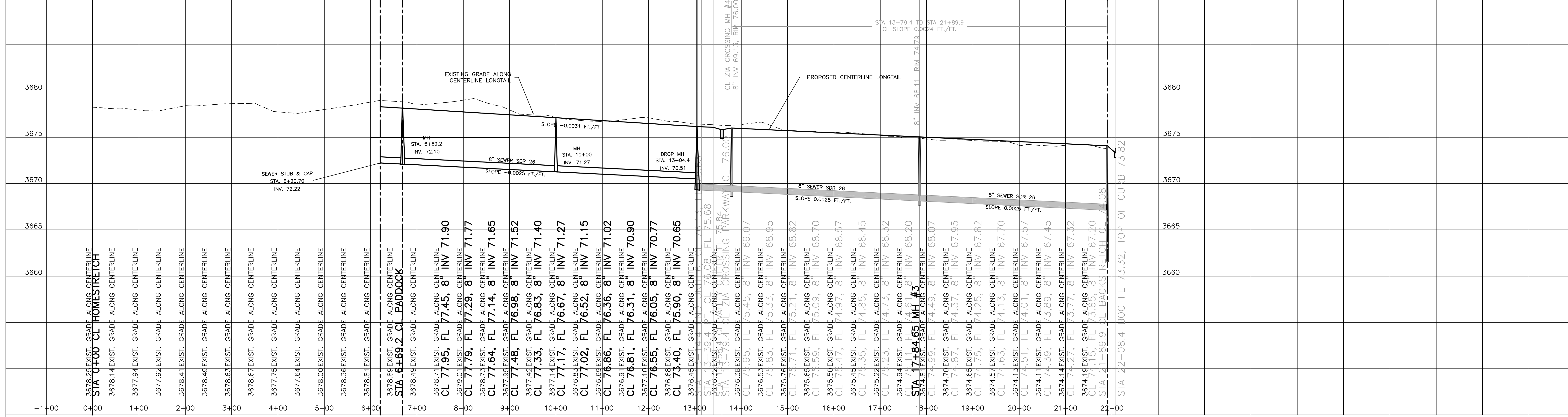
NOTE:
 1. ALL MANHOLE RIM ELEVATIONS SHOWN ARE APPROXIMATE, MATCH FINISHED GRADE.
 2. CONTOURS SHOWN ARE ONE FOOT CONTOURS BASED UPON EXISTING SURVEY PERFORMED BY FOUR CORNERS SURVEYING, INC. PRIOR TO UNIT 1 CONSTRUCTION.

NO.	REVISIONS	BY	DATE	DES	DATE	SCALE		410 N. Dal Paso Hobbs, New Mexico 88240 Telephone (575) 392-7918 Fax (575) 392-9114	ZIA CROSSING SUBDIVISION UNIT 8	KING KELLY ROAD PLAN & PROFILE STA 0+00 TO STA 21+90.07	SHEET B4 OF B4
				DRN	6/13/2019	H: 1" = 100'					
				CHK		V: 1" = 5'					
				APPD							

ORIGINAL DRAWING 24" X 36"



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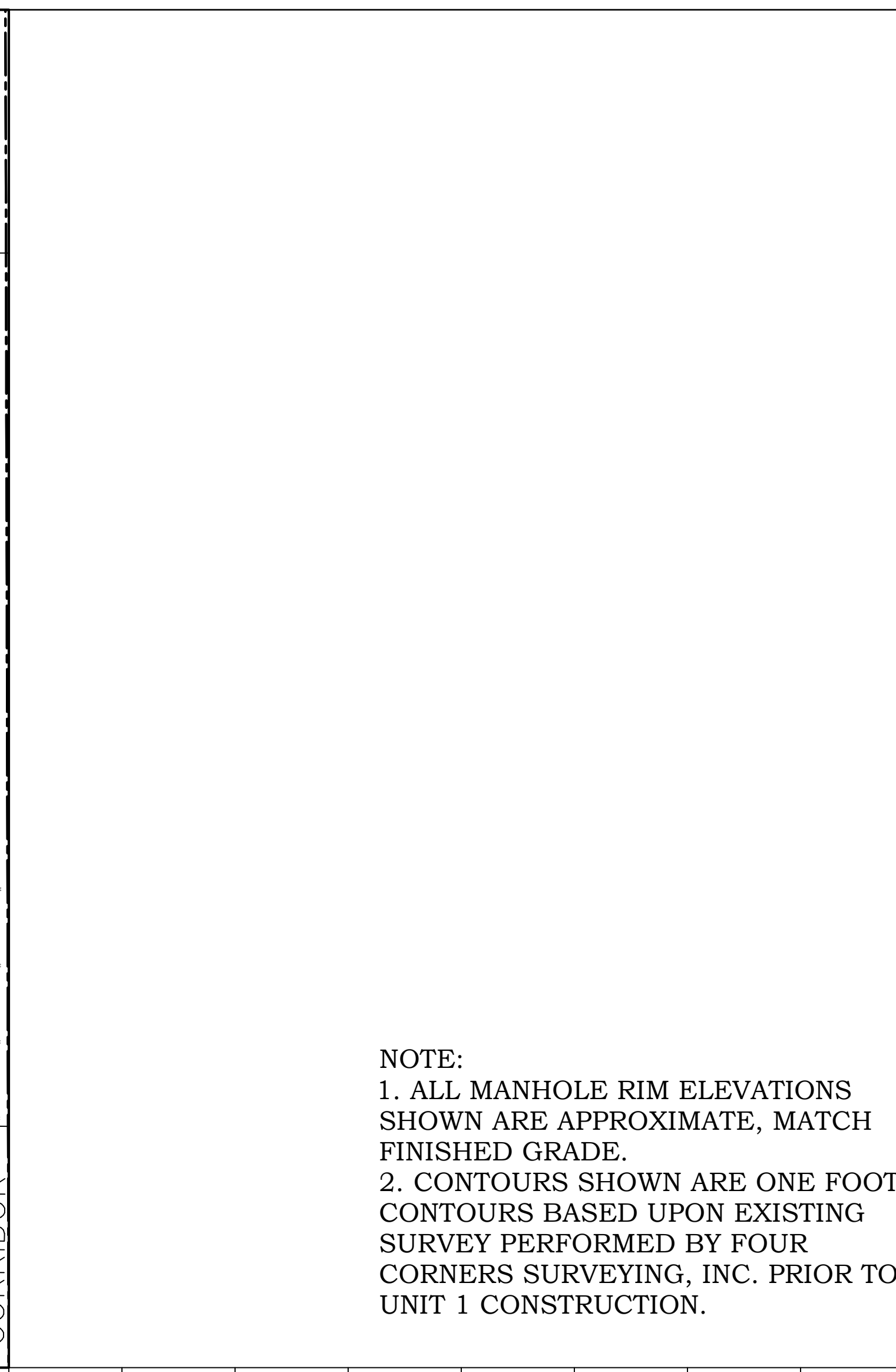
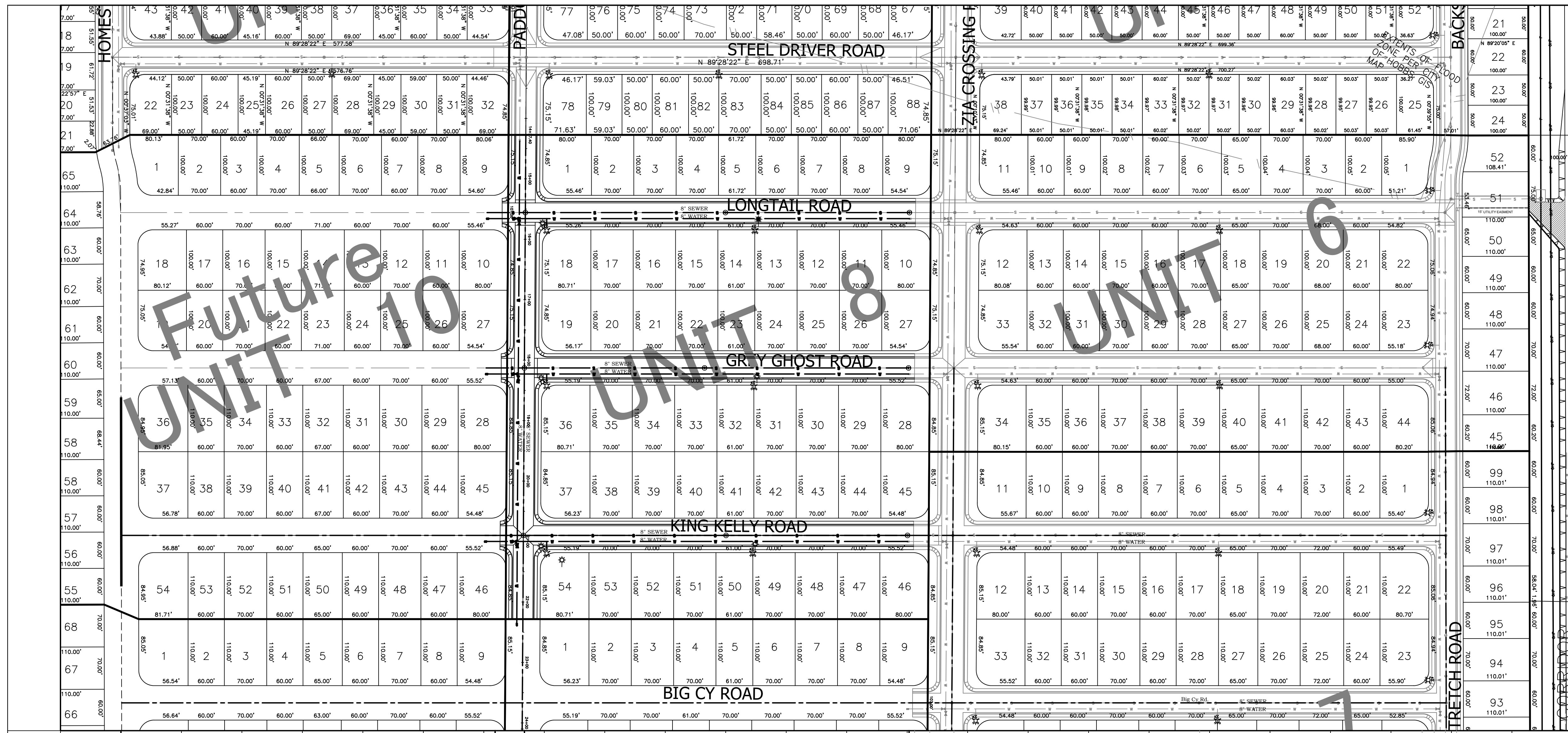
410 N. Dal Paso
 Hobbs, New Mexico 88240
 Telephone (575) 392-7918
 Fax (575) 392-9114

ZIA CROSSING SUBDIVISION
 PHASE 2 - UNIT 8

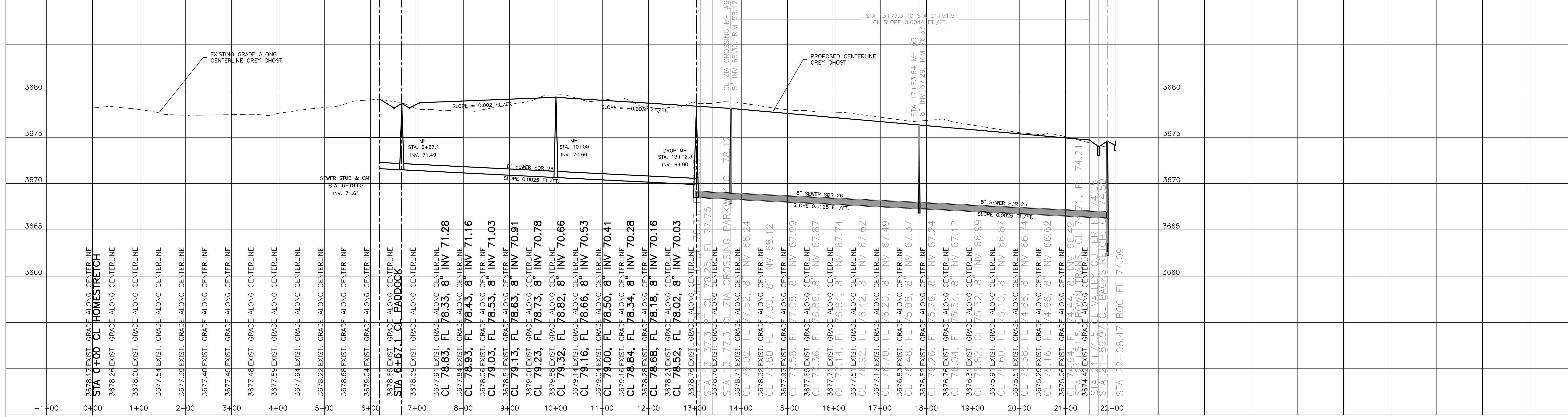
LONGTAIL PLAN & PROFILE
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SHEET
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 OF
 B4

ORIGINAL DRAWING 24" X 36"



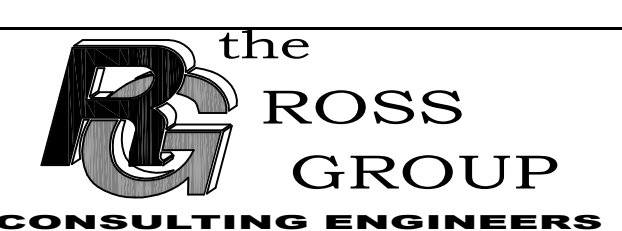
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DATE
6/29/15

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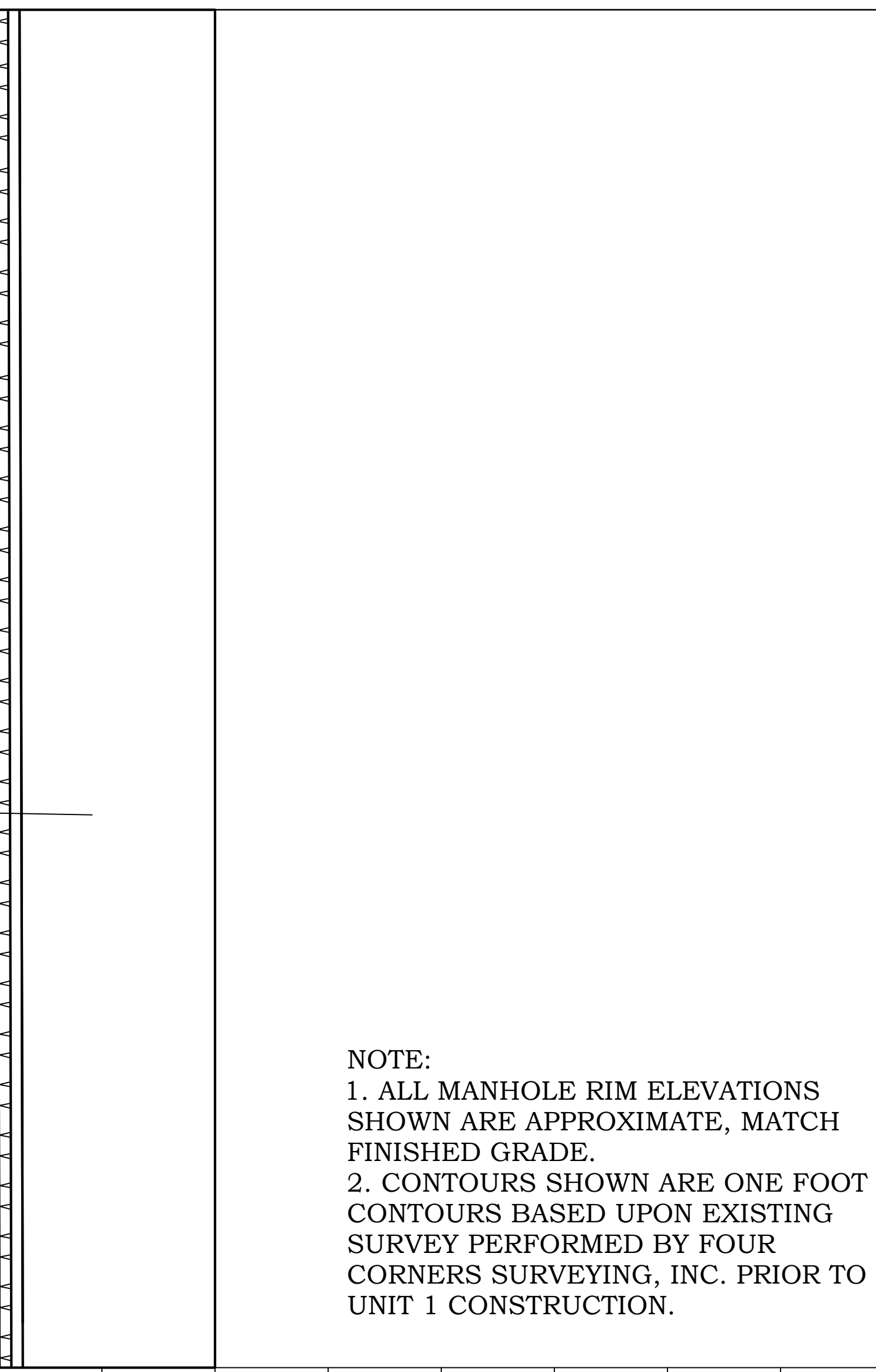
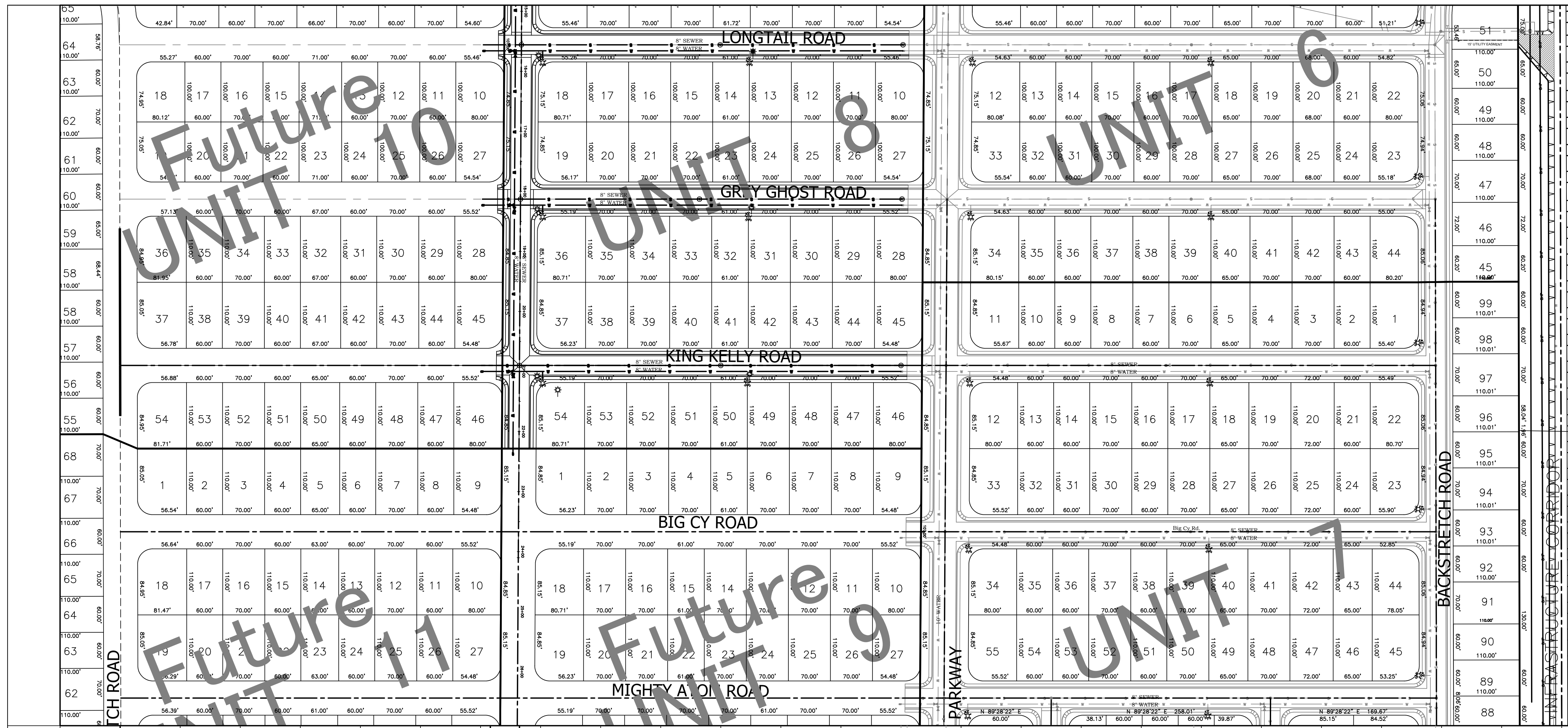
410 N. Dal Paso
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ZIA CROSSING SUBDIVISION
 PHASE 2 - UNIT 8

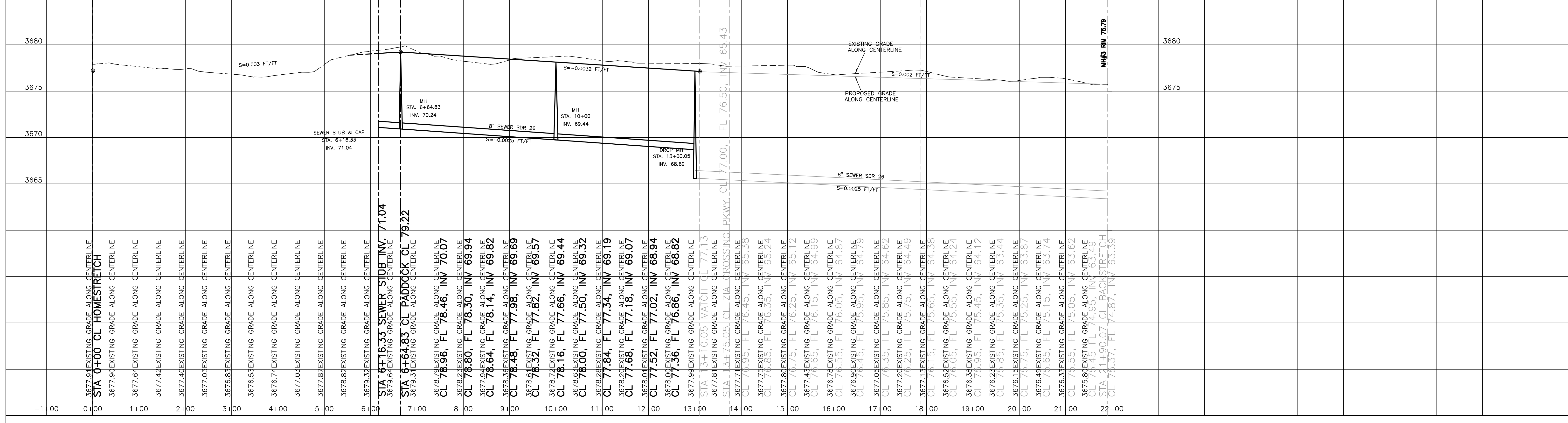
GREY GHOST PLAN & PROFILE
 STA 0+00 TO STA 21+89.97

SHEET
 B3
 OF
 B4

ORIGINAL DRAWING 24" X 36"



NOTE:
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 2. CONTOURS SHOWN ARE ONE FOOT CONTOURS BASED UPON EXISTING SURVEY PERFORMED BY FOUR CORNERS SURVEYING, INC. PRIOR TO UNIT 1 CONSTRUCTION.



NO.	REVISIONS	BY	DATE	DES
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DATE
6/13/2019

SCALE
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 V: 1" = 5'

the ROSS GROUP
 CONSULTING ENGINEERS

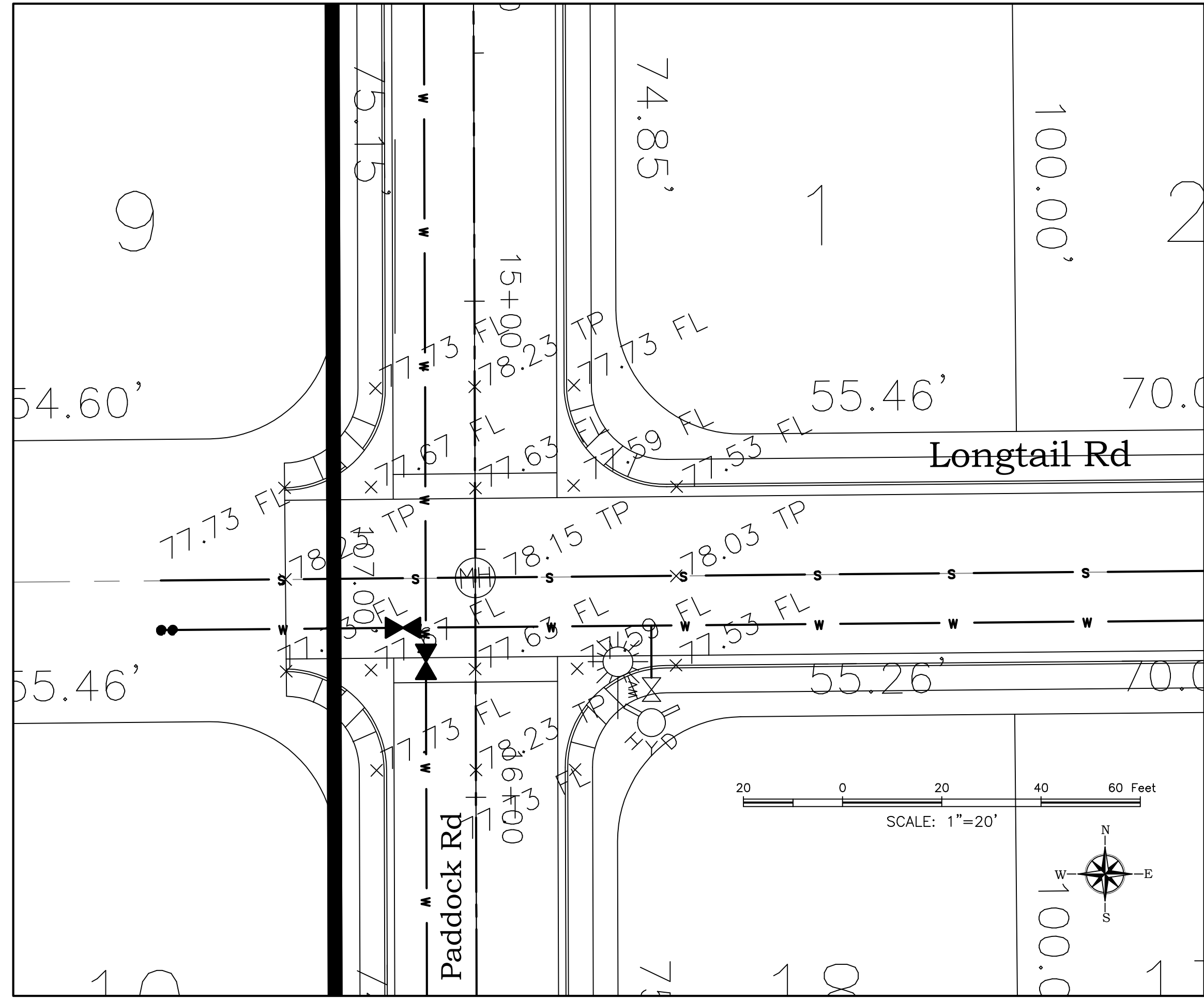
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 Hobbs, New Mexico 88240
 Telephone (575) 392-7918
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ZIA CROSSING SUBDIVISION
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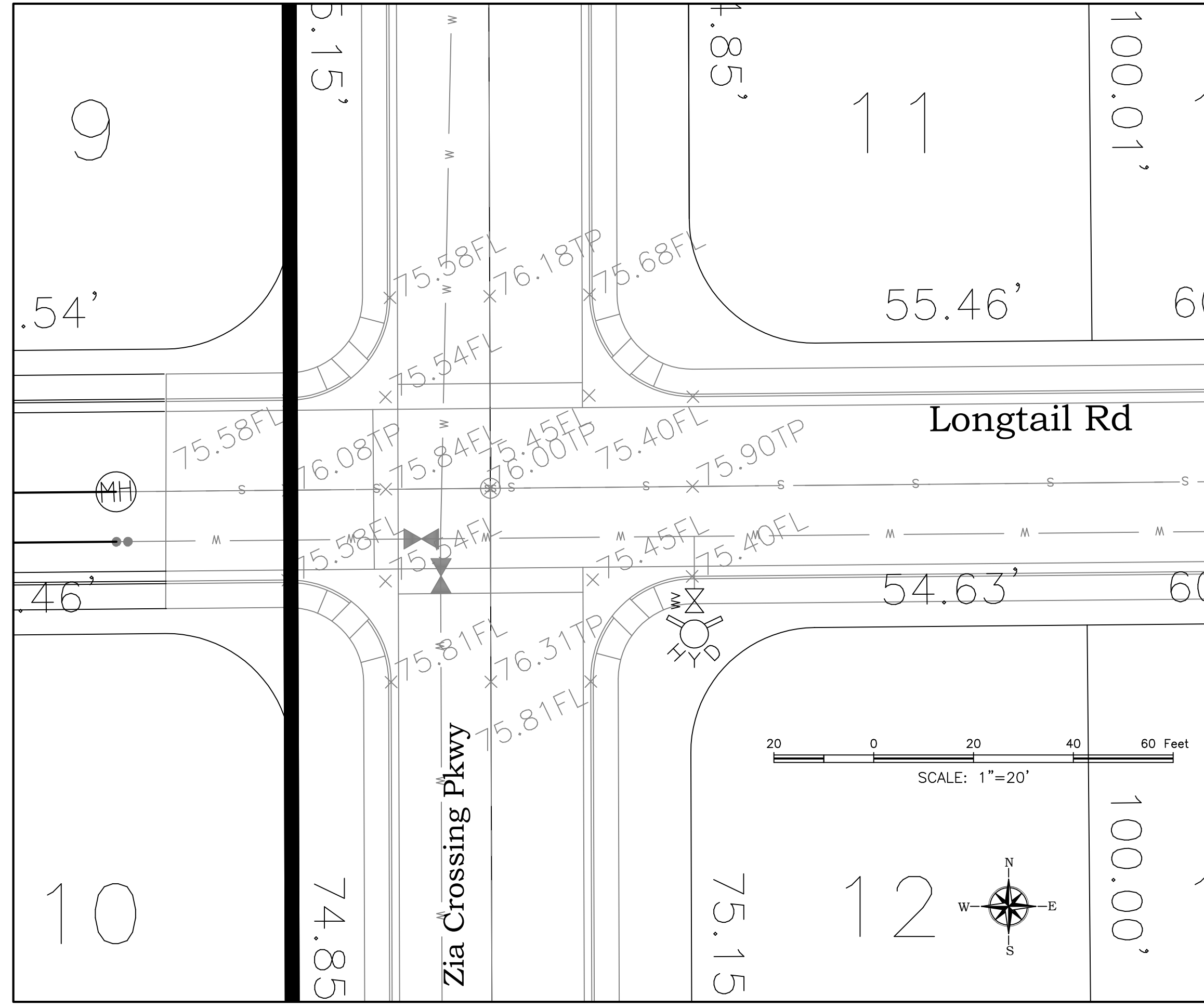
KING KELLY ROAD PLAN & PROFILE
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SHEET
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 OF
 B4

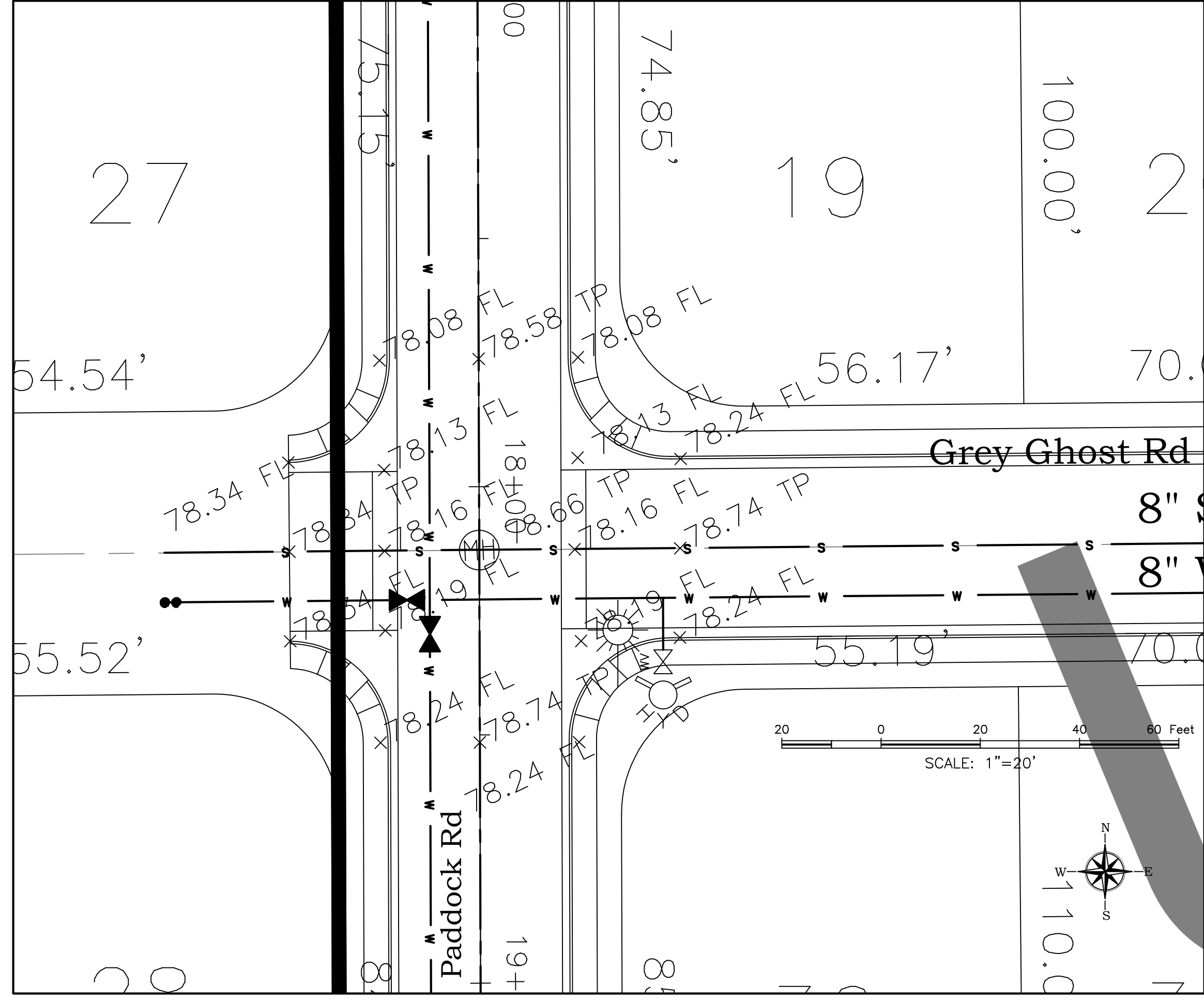
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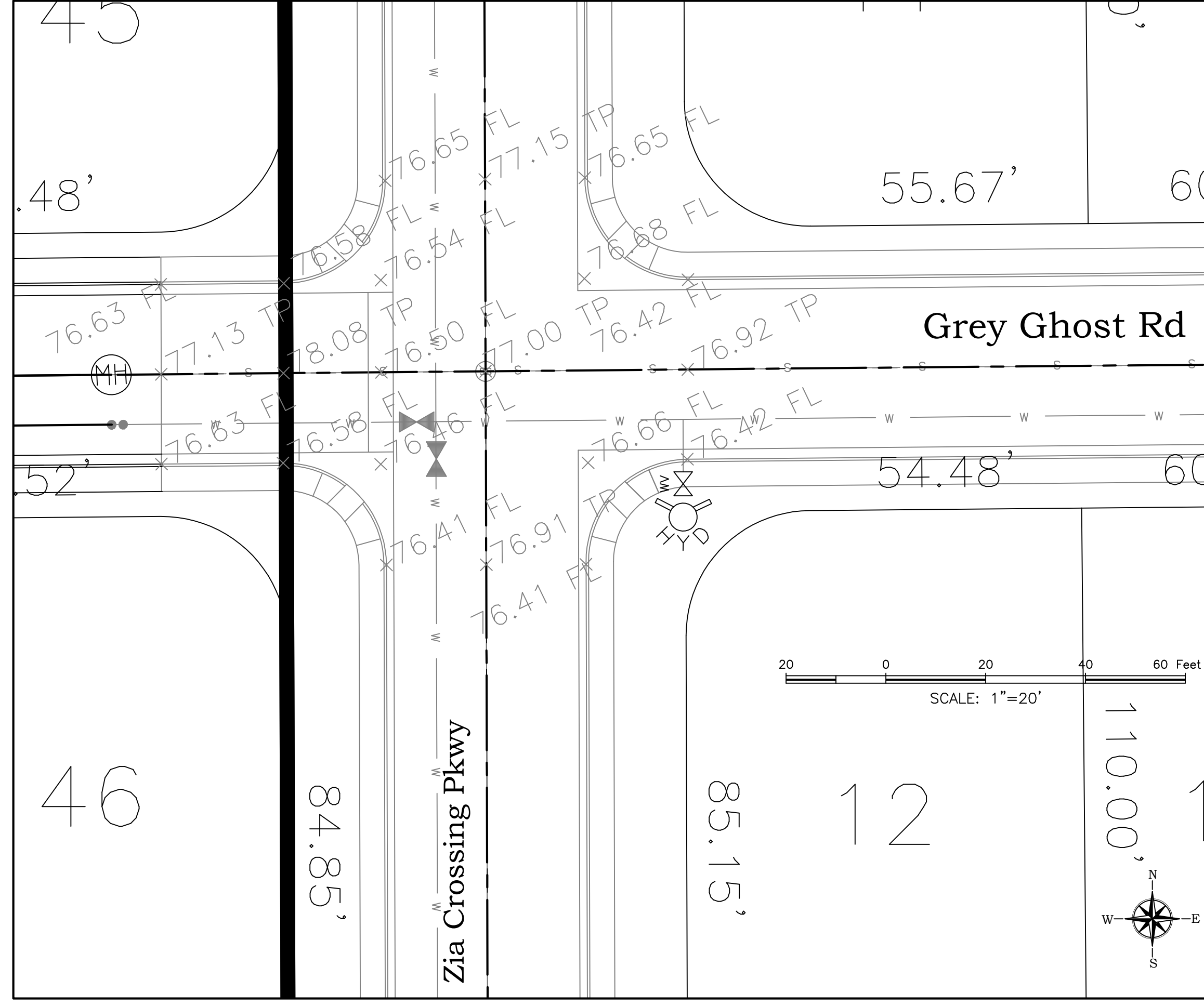
PADDOCK ROAD & LONGTAIL ROAD



ZIA CROSSING PARKWAY & LONGTAIL ROAD



PADDOCK ROAD & GREY GHOST ROAD



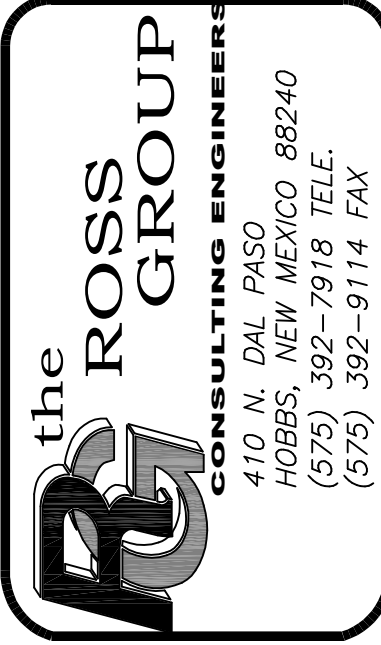
ZIA CROSSING PARKWAY & GREY GHOST ROAD

PRELIMINARY - NOT FOR CONSTRUCTION - UNDER REVIEW

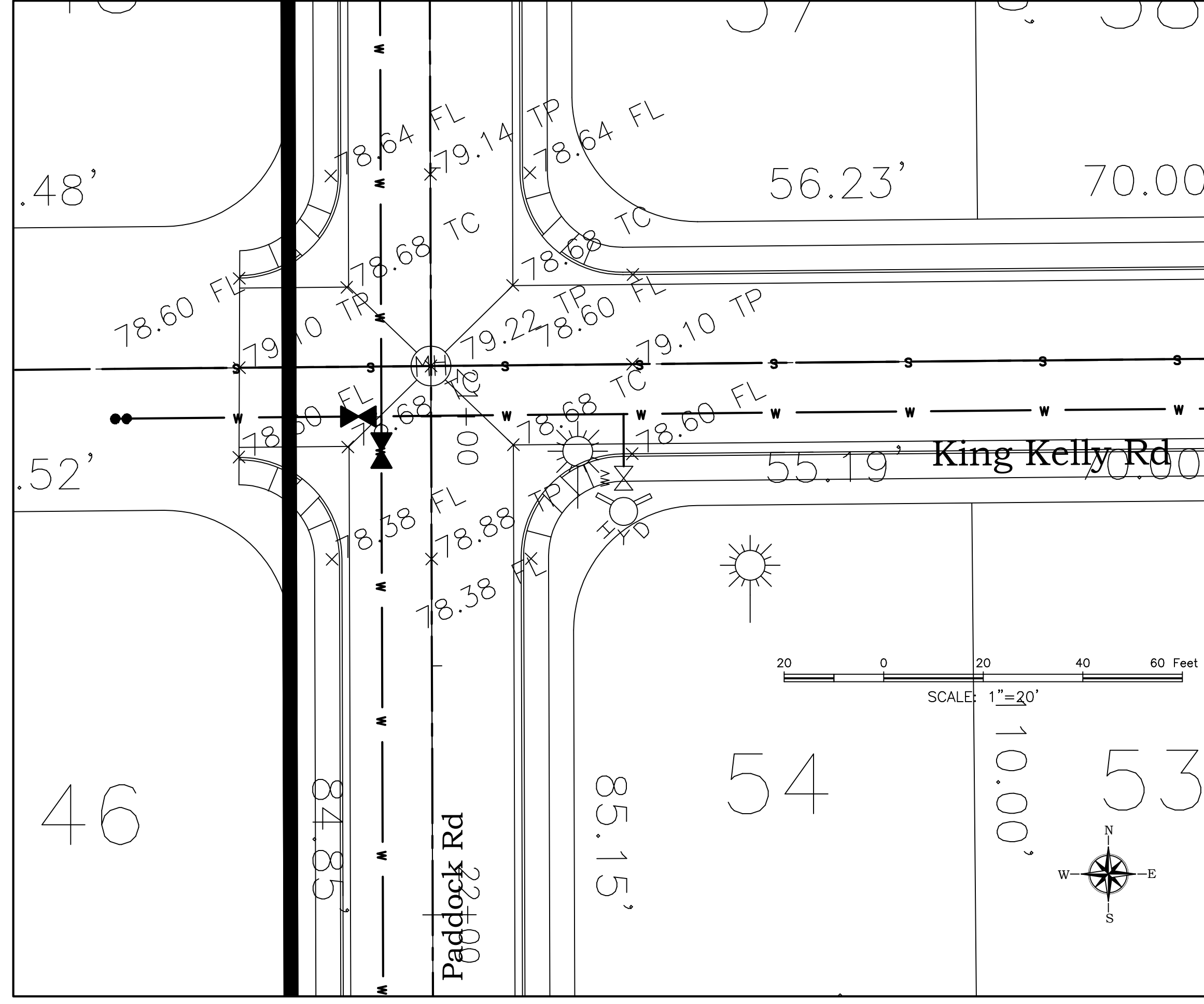
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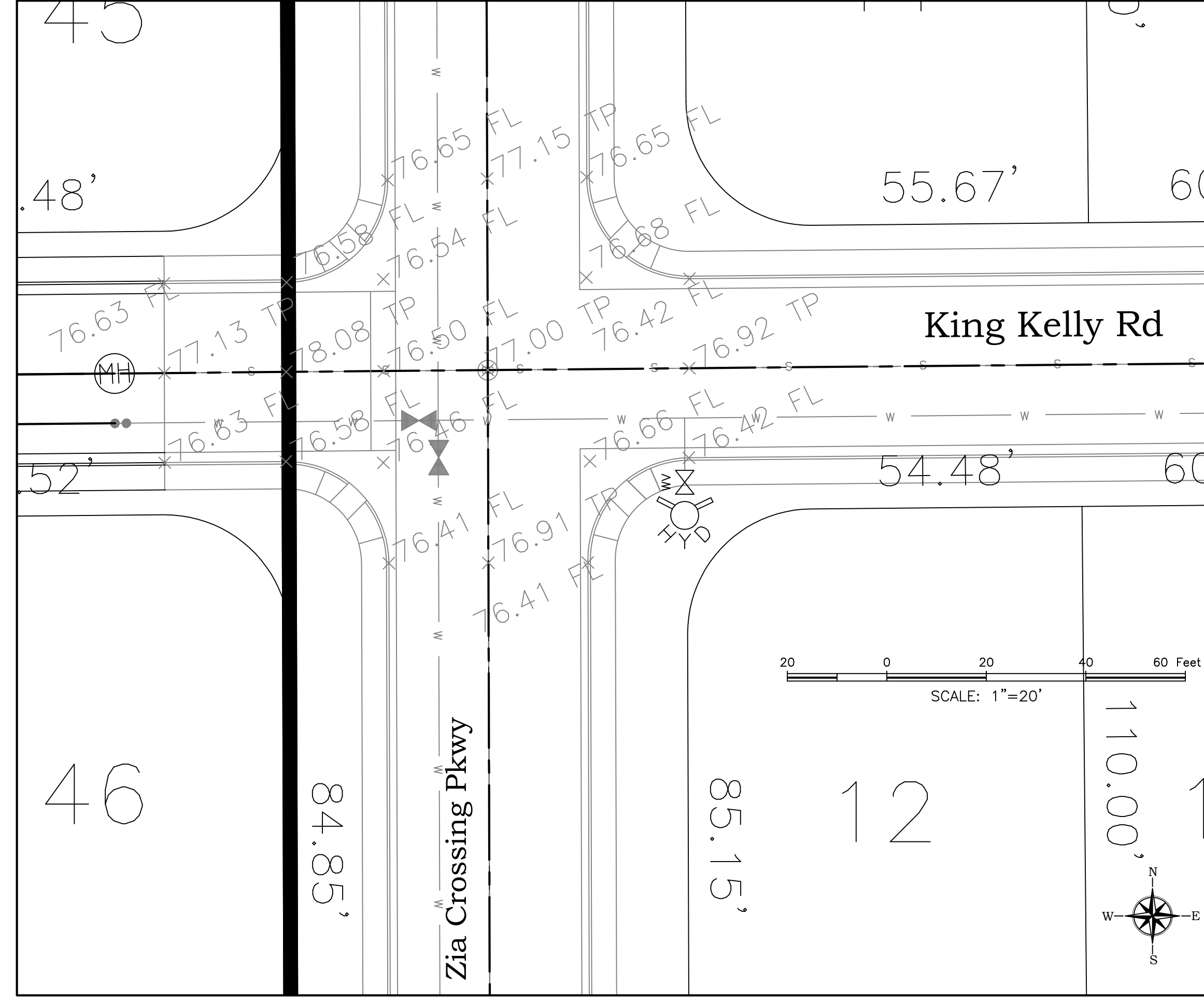
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INTERSECTION DETAILS



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4/21/21	GENERAL
File Name:	Job No.:
BASE	



PADDOCK ROAD & KING KELLY ROAD

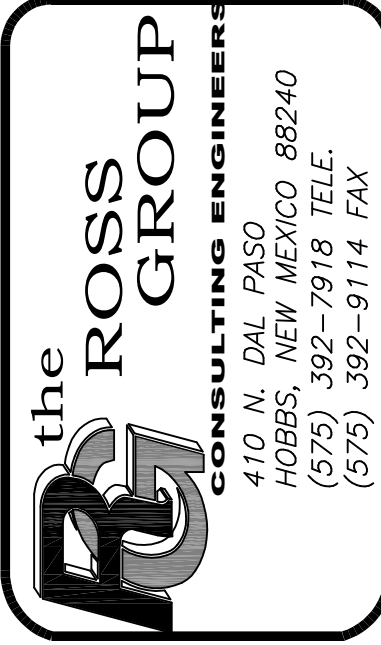


ZIA CROSSING PARKWAY & KING KELLY ROAD

ORIGINAL DRAWING SIZE 24" X 36"

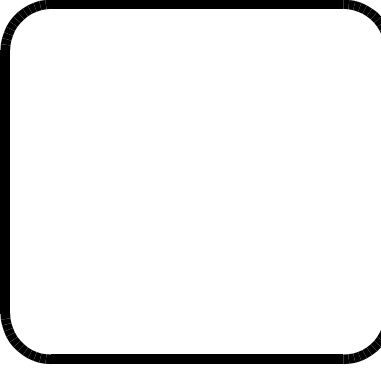
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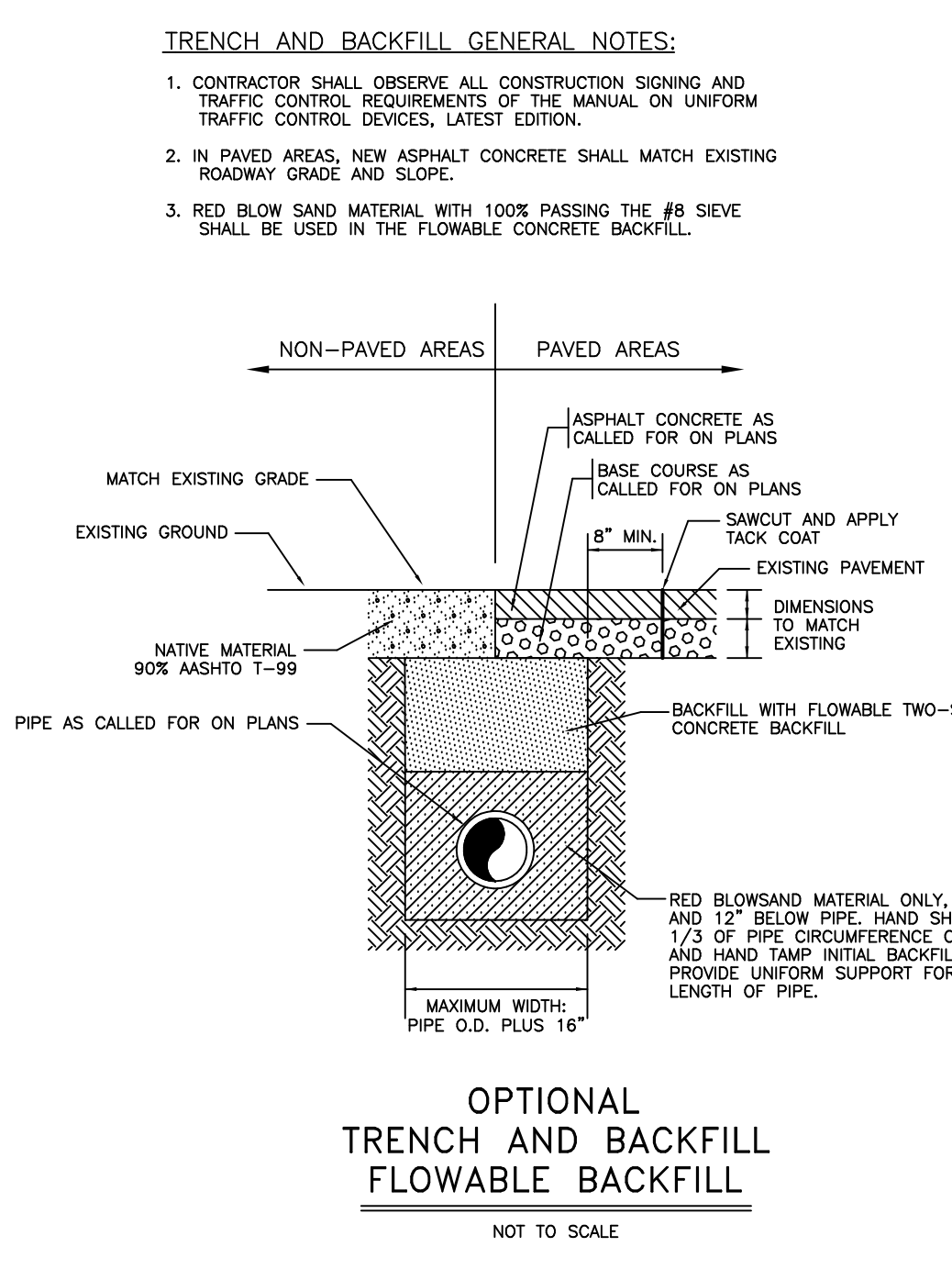
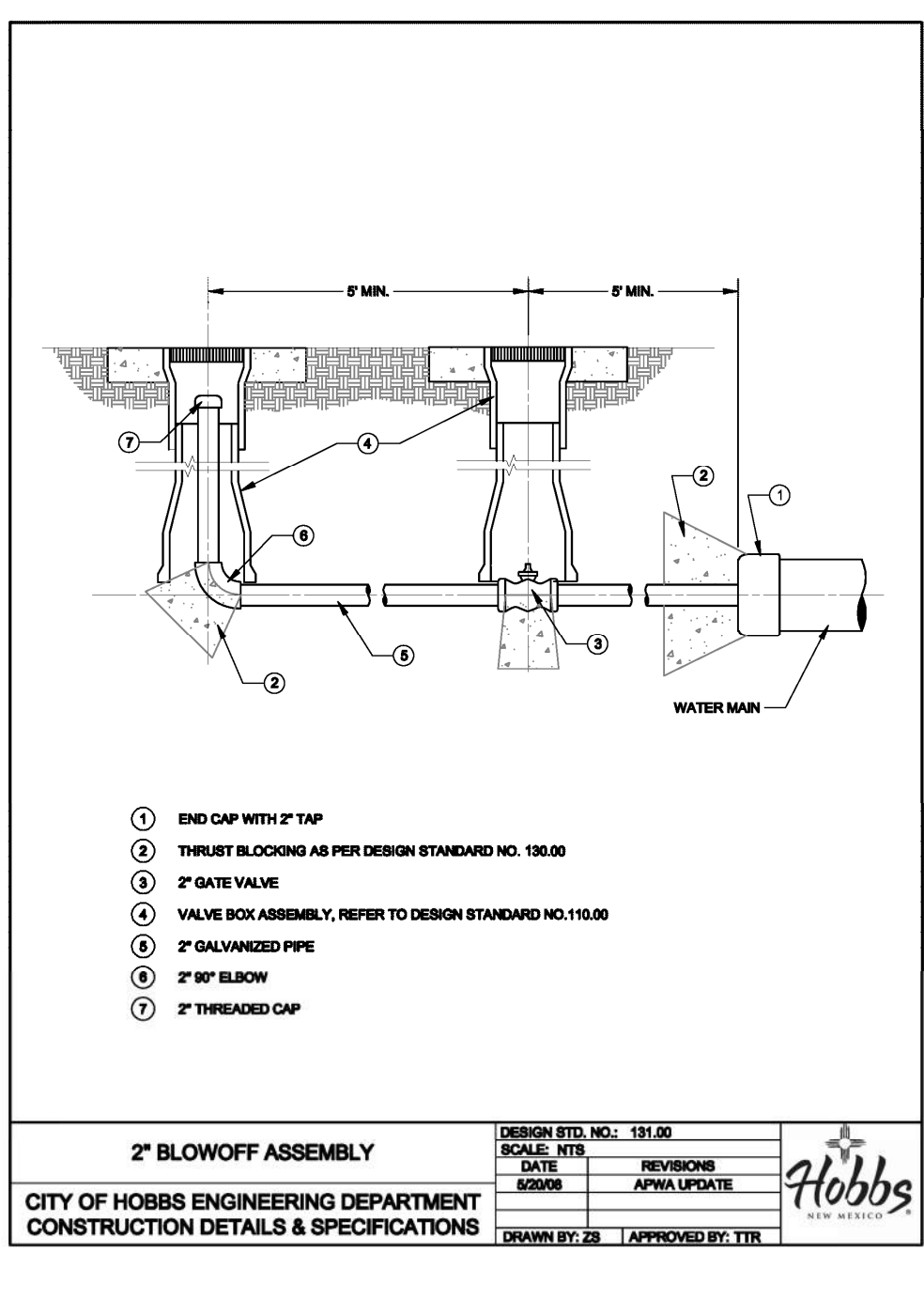
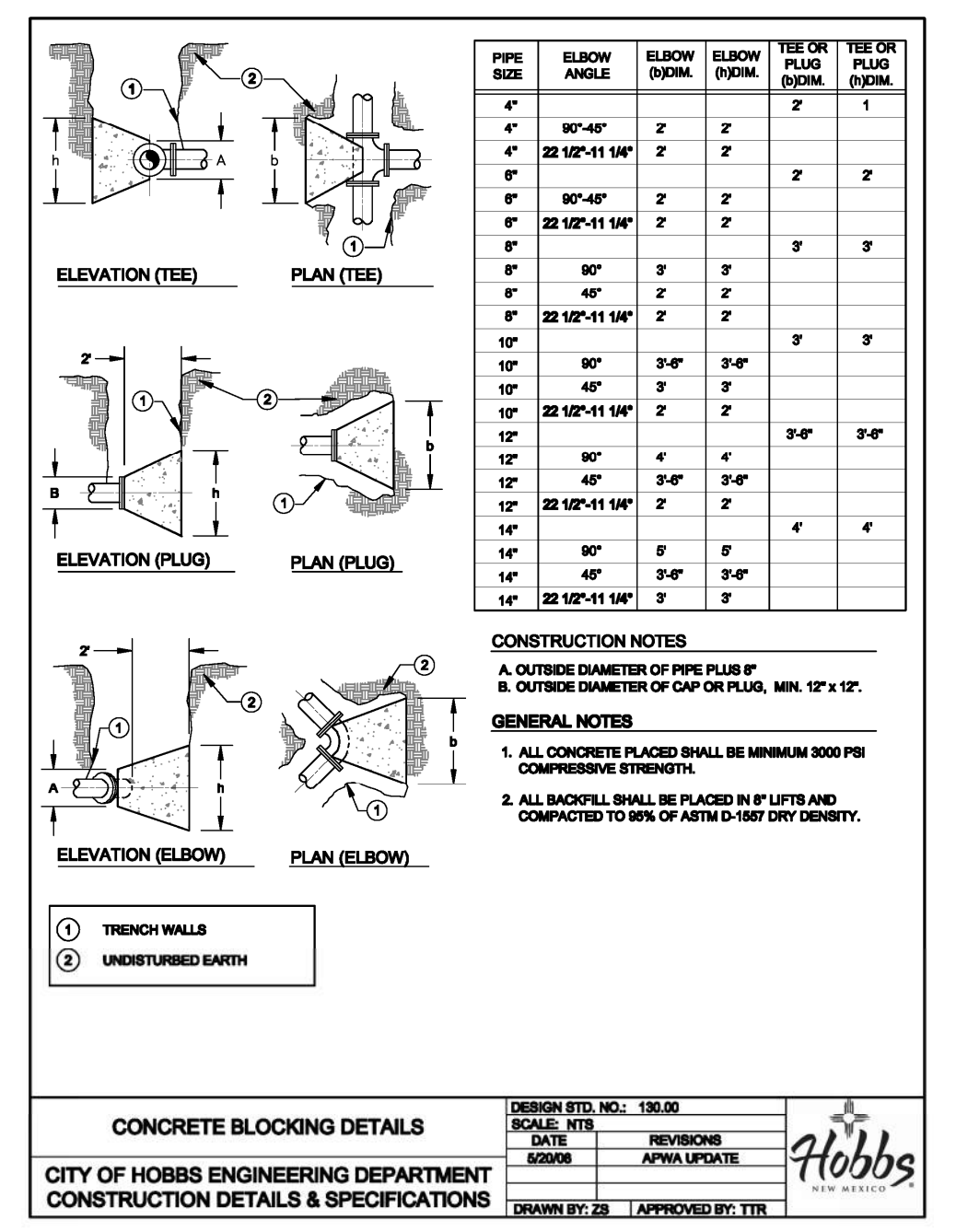
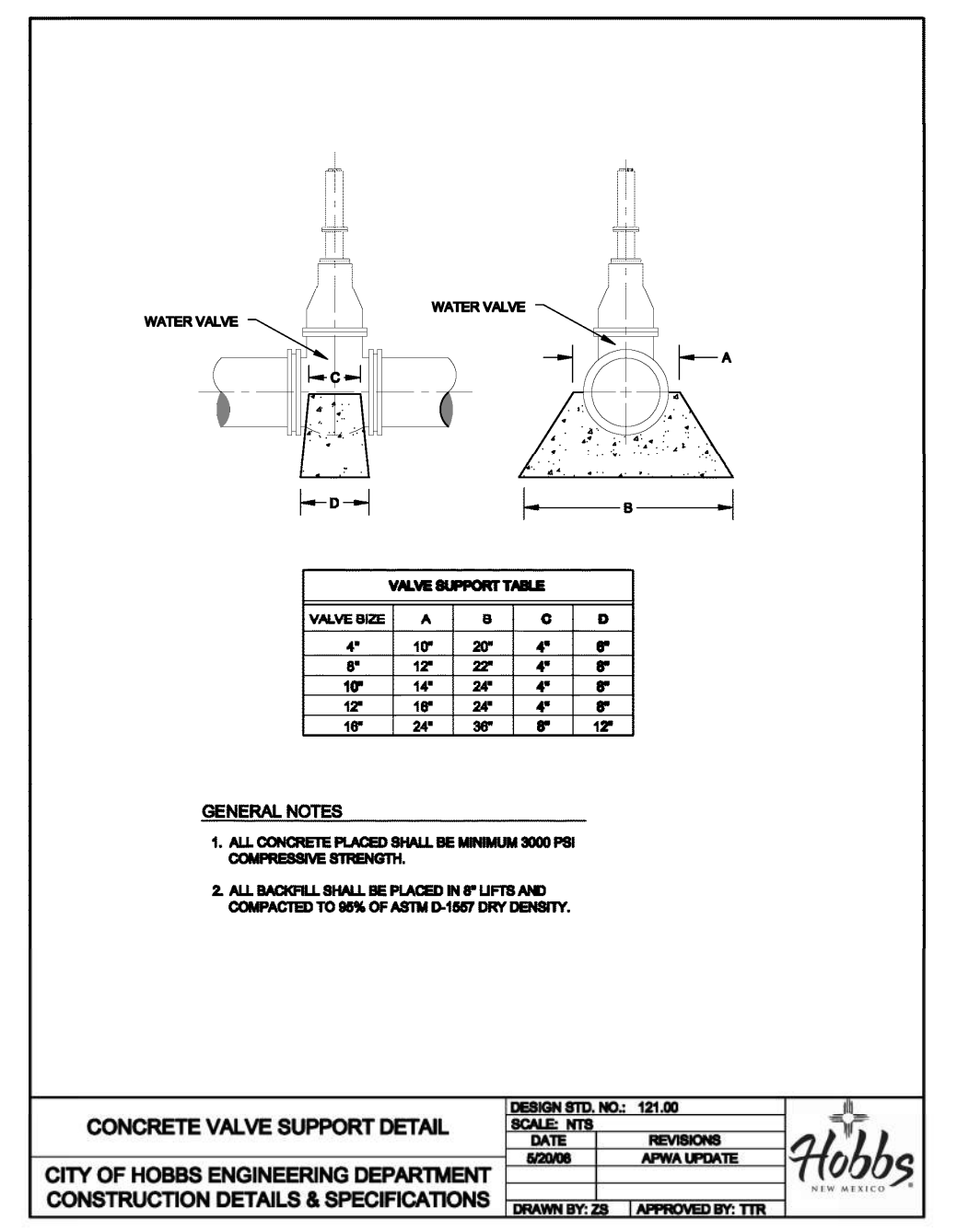
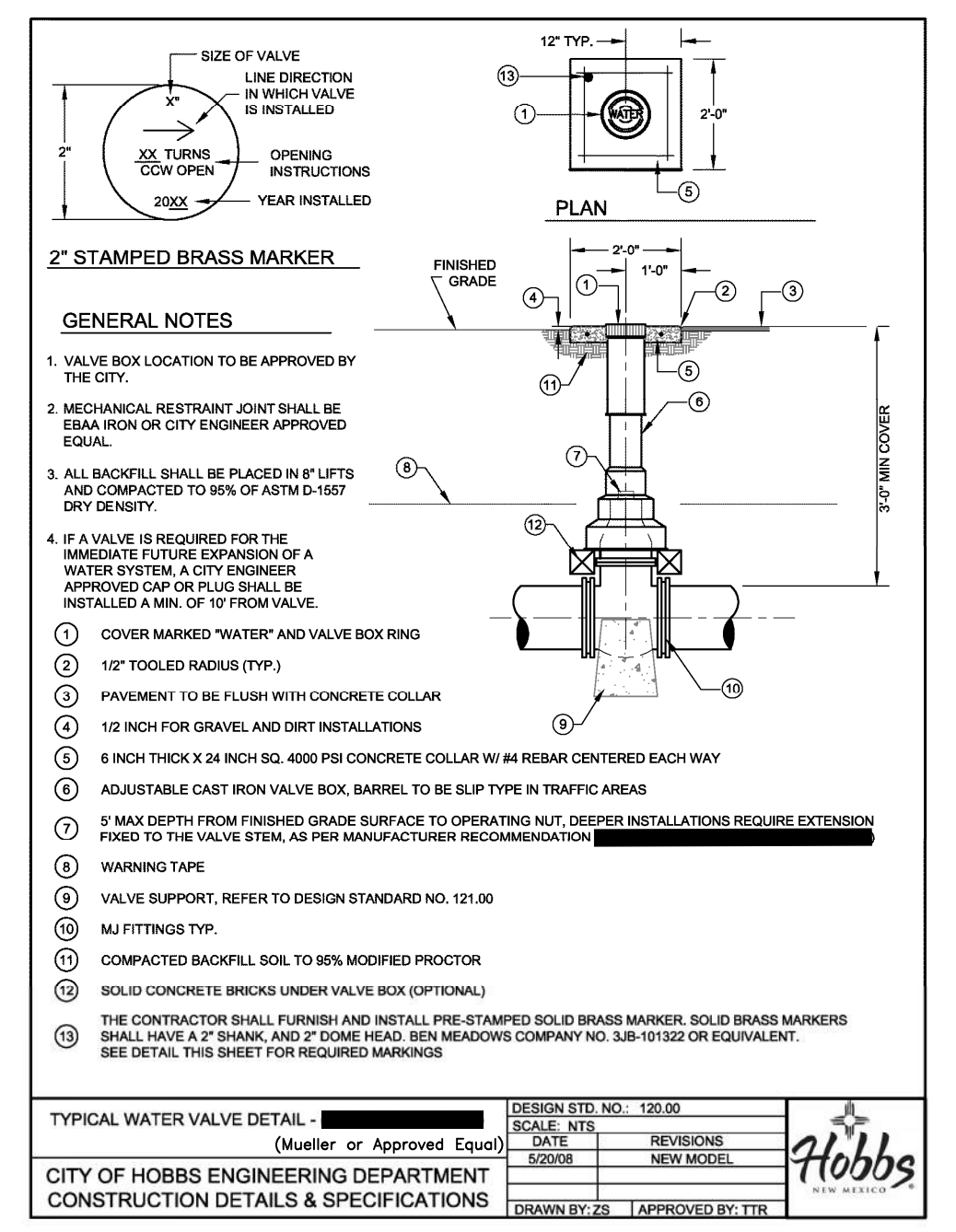
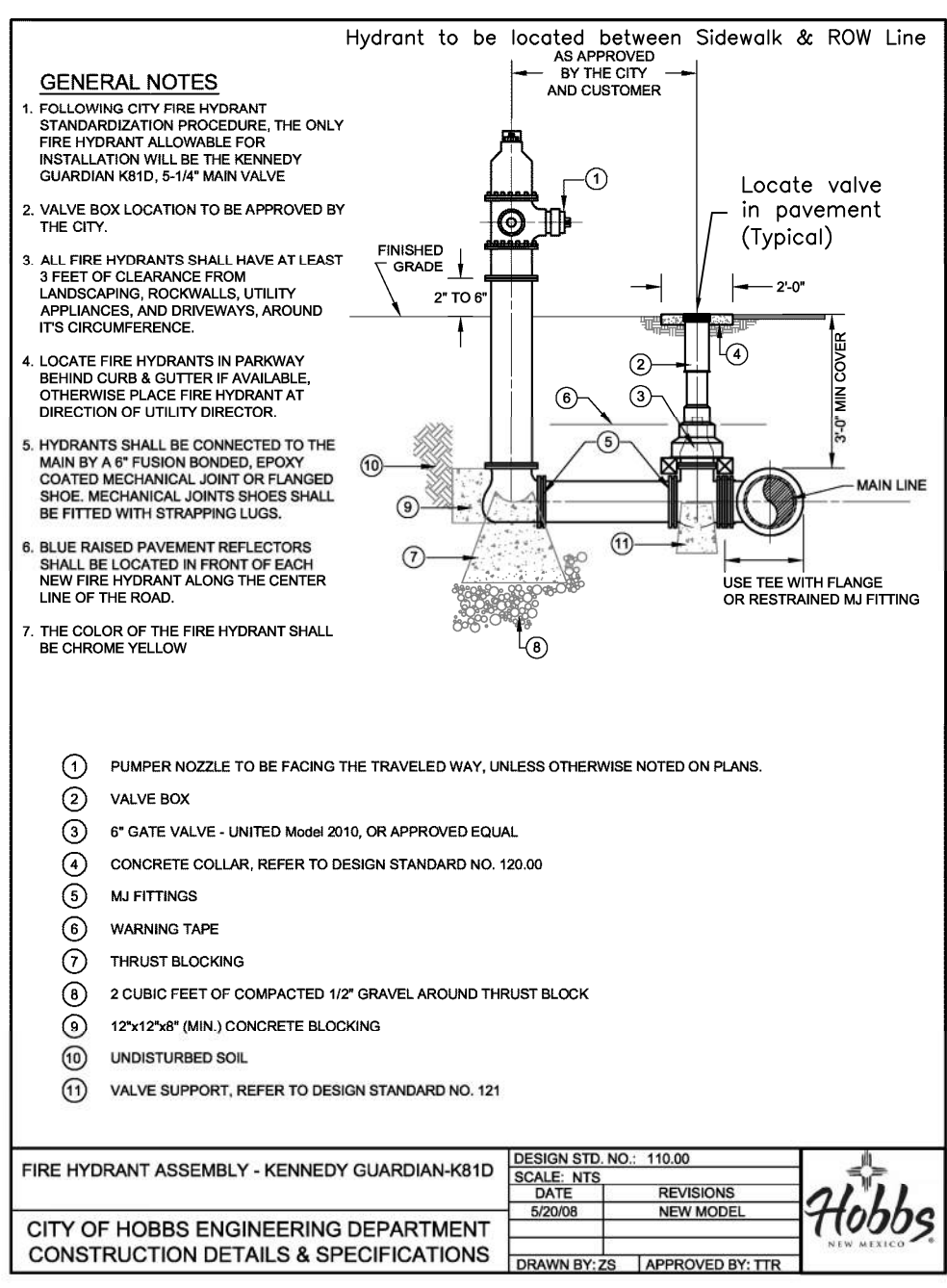
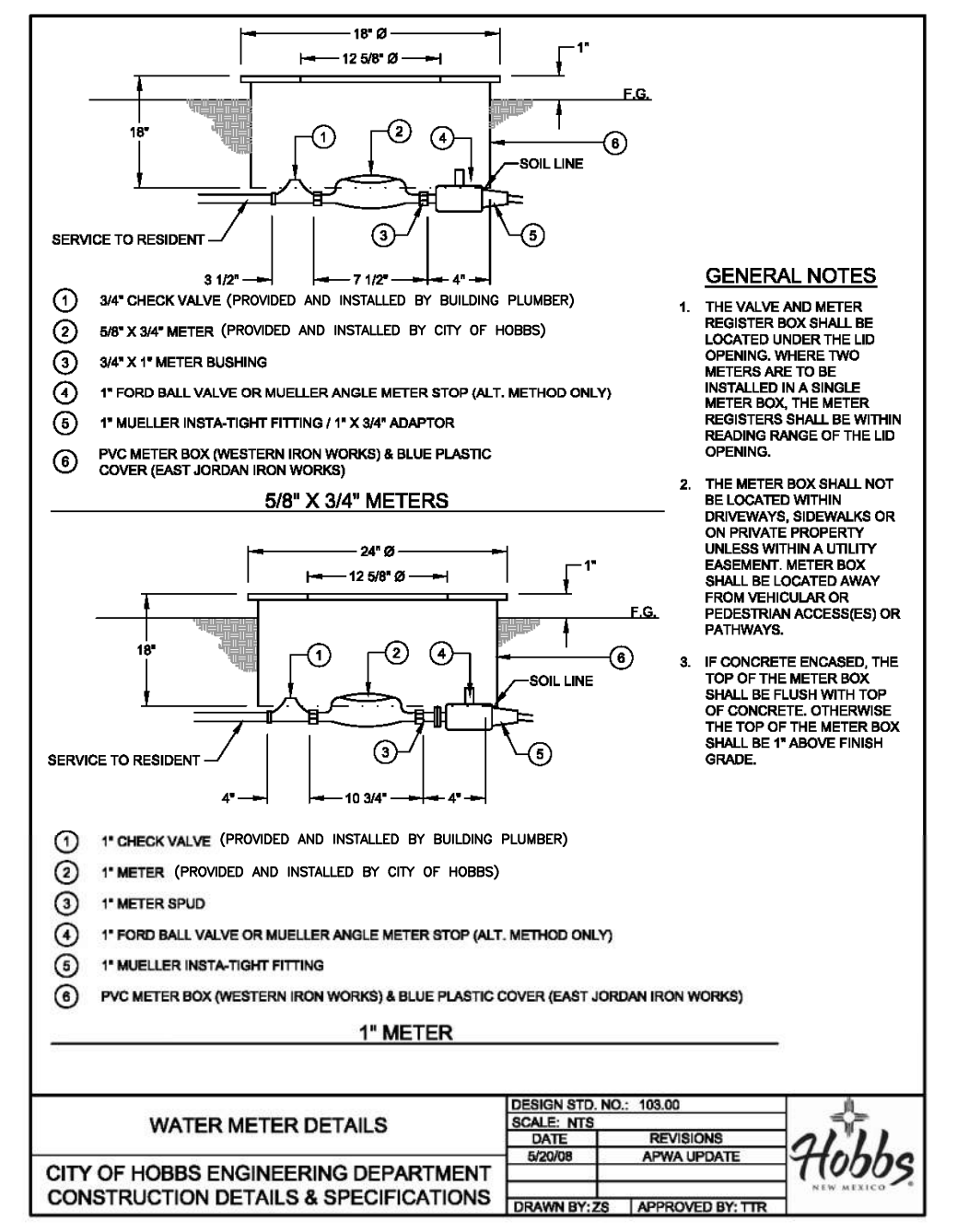
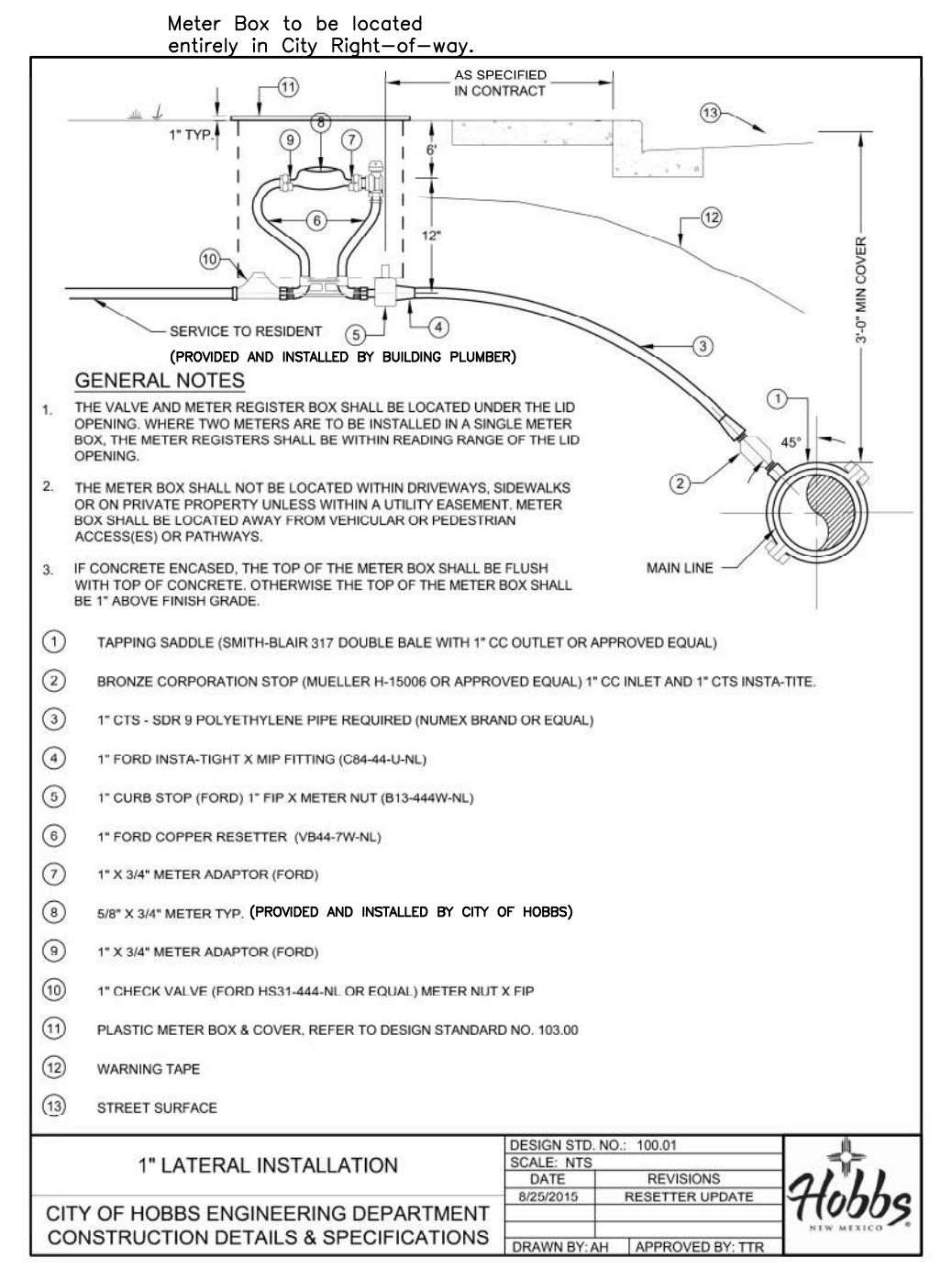
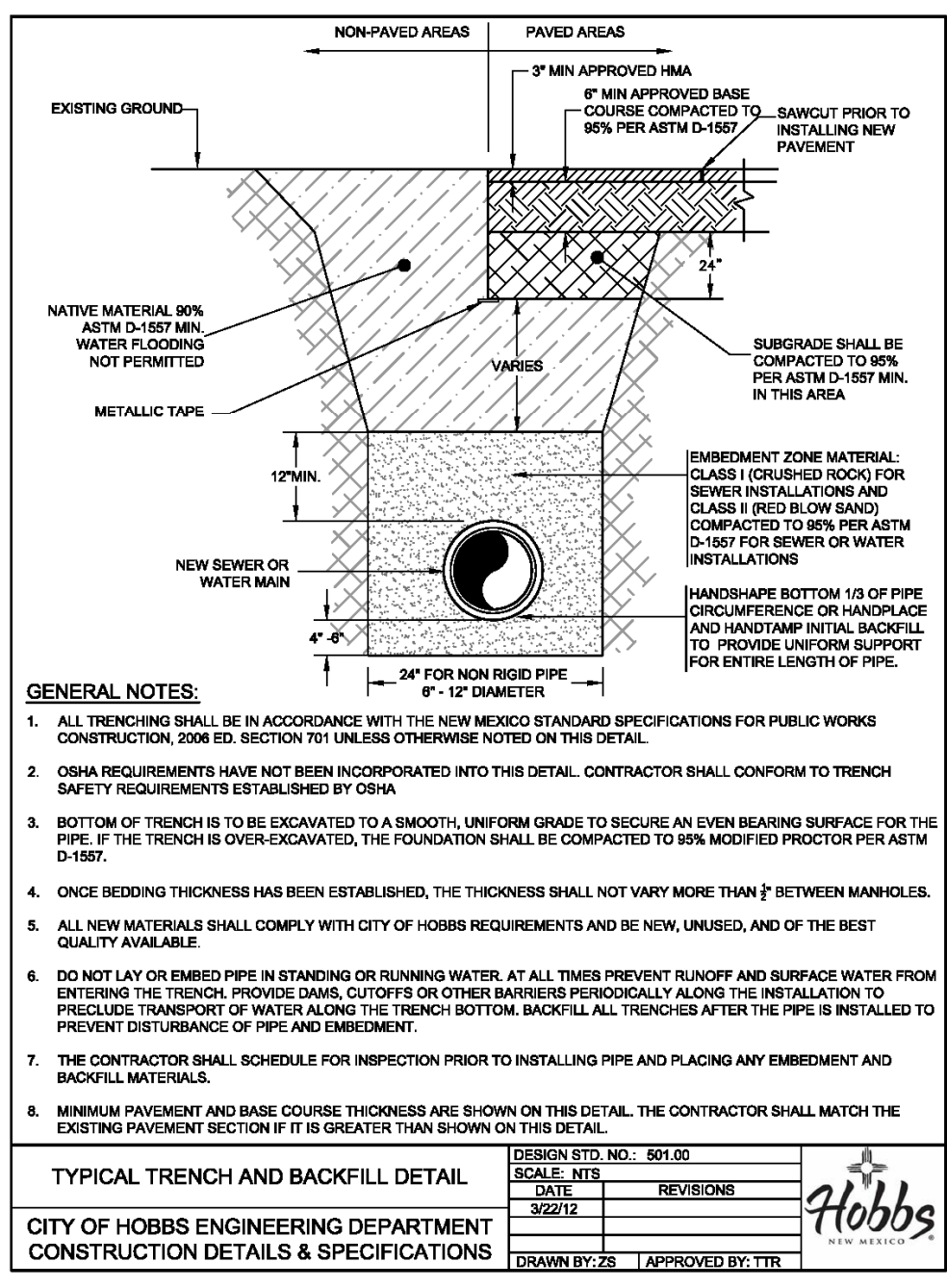
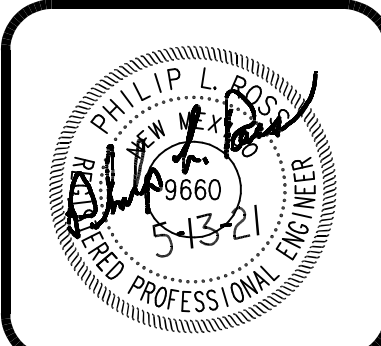
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SMM	PLR
Date:	Disk:
4/21/21	GENERAL
File Name:	Job No.:
BASE	



ZIA CROSSING UNIT 8
INTERSECTION DETAILS CONT.

NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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ZIA CROSSING UNIT 8

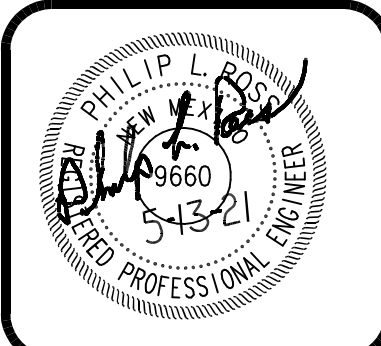
WATER DETAILS

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

Drawn By: Checked by:
SMM PLR
Date: Disk:
5/13/21 GENERAL
File Name: Job No.:
WATER

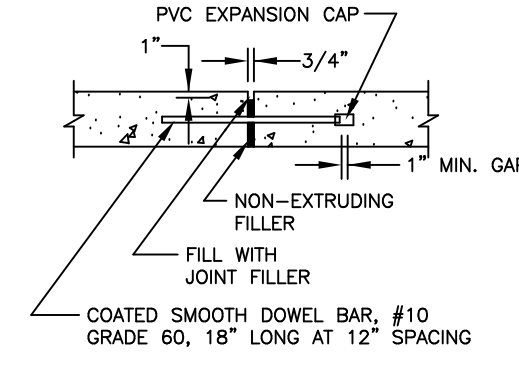
SHEET
W1
W1 of W1 sheets

ORIGINAL DRAWING SIZE 24" X 36"



EXPANSION JOINT GENERAL NOTES:

1. JOINT SPACING SHALL BE AS SHOWN ON THE PLANS.
2. DOWEL BARS SHALL BE CENTERED IN SLAB.

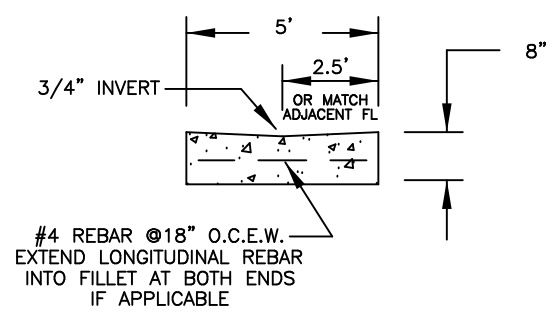


DOWELED EXPANSION JOINT
NOT TO SCALE

ROJ01003

VALLEY GUTTER GENERAL NOTES:

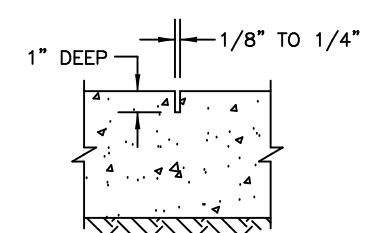
1. CONTRACTOR SHALL CONSTRUCT SEALED EXPANSION JOINTS AT 30' INTERVALS, AT END OF DAY'S POUR, AND AT 30-MINUTE INTERRUPTIONS.
2. CONTRACTOR SHALL CONSTRUCT TRANSVERSE CONTRACTION JOINTS (DUMMY JOINTS) AT 10' INTERVALS.
3. CONTRACTOR SHALL CONSTRUCT DOWELED EXPANSION JOINT AT MIDPOINT OF VALLEY GUTTER IF SHOWN ON THE PLANS.
4. ALL CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3,000 PSI AT 28 DAYS (CLASS A).
5. MATERIAL ON WHICH CONCRETE IS TO BE PLACED SHALL BE 8" MINIMUM APPROVED BASE COURSE MATERIAL COMPACTED TO 95% MAX. DENSITY AS DETERMINED BY AASHTO T-180. SUBGRADE BELOW BASE COURSE SHALL BE MIN. 6" COMPACTED TO 95% MAX. DENSITY AS DETERMINED BY AASHTO T-180.



CONCRETE VALLEY GUTTER 60" X 8"
NOT TO SCALE

CONTRACTION JOINT GENERAL NOTES:

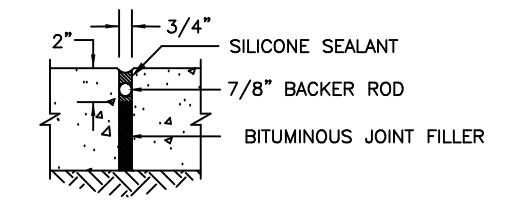
1. JOINT SPACING SHALL BE AS SHOWN ON THE PLANS.



SAWCUT TRANSVERSE CONTRACTION JOINT
NOT TO SCALE

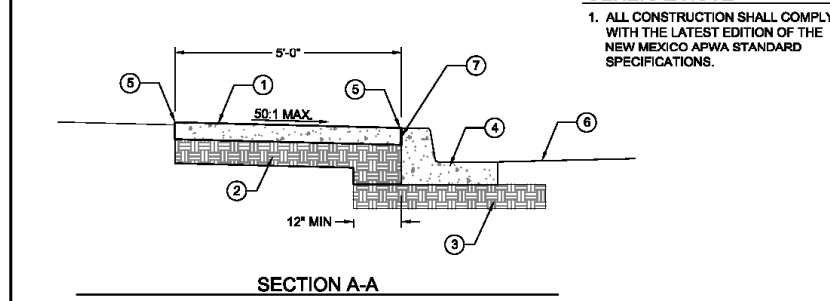
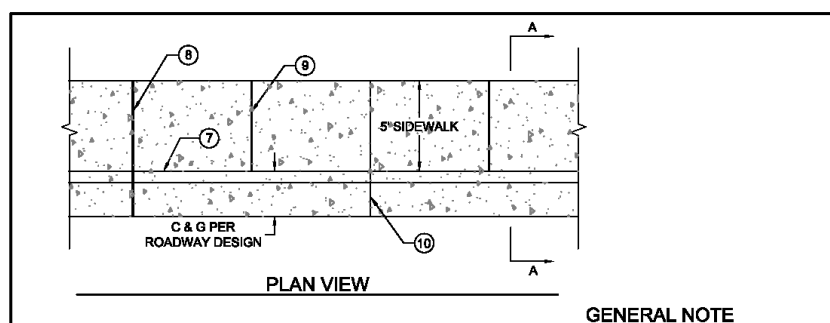
EXPANSION JOINT GENERAL NOTES:

1. JOINT SPACING SHALL BE AS SHOWN ON THE PLANS.



SEALED EXPANSION JOINT
NOT TO SCALE

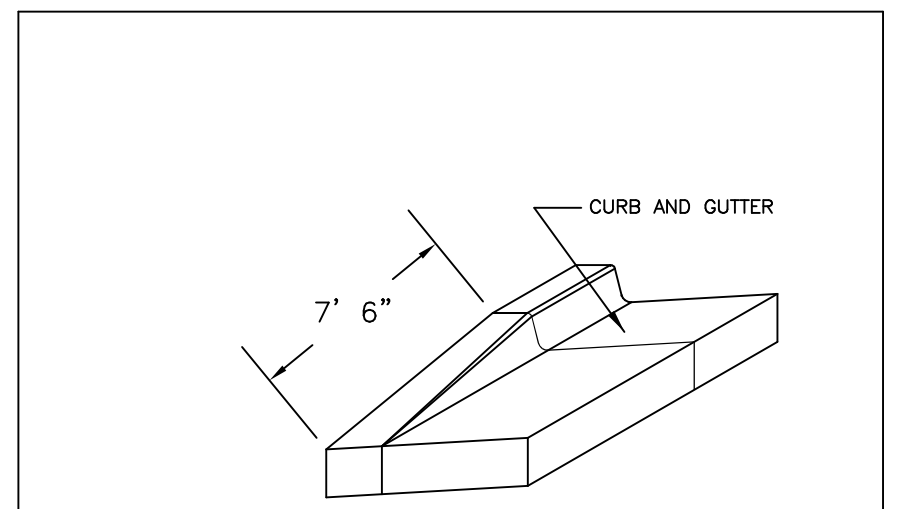
ROJ01002



- GENERAL NOTE**
1. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE NEW MEXICO APWA STANDARD SPECIFICATIONS.
 2. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE NEW MEXICO APWA STANDARD SPECIFICATIONS.
 3. SUBGRADE SHALL BE MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM OF 95% OF ASTM D-1557 DRY DENSITY.
 4. ALL CONCRETE SHALL BE CLASS A UNLESS OTHERWISE STATED IN THE PLANS OR SPECIFICATIONS.
 5. CURBS AND GUTTERS SHALL HAVE 12" EXPANSION JOINTS ON 30' O.C. MAXIMUM AND AT ALL CURB RETURNS.
 6. CURBS AND GUTTERS SHALL HAVE 12" GROOVE JOINTS AT 9' O.C. TO CORRESPOND WITH THE LOCATION OF THE 12" GROOVE JOINTS IN THE SIDEWALK.
 7. ALL CONCRETE SHALL CONTAIN ANTI-CRACK FIBER REINFORCEMENT AT A RATE OF 1.5 LB PER CUBIC FOOT.
 8. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.

TYPICAL SIDEWALK DETAIL
DESIGNATED NO. 3010
SCALE: 1/4" = 1'-0"
DATE: 10/15/18
REVISIONS:
APPROVED BY: [Signature]
CITY OF HOBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS

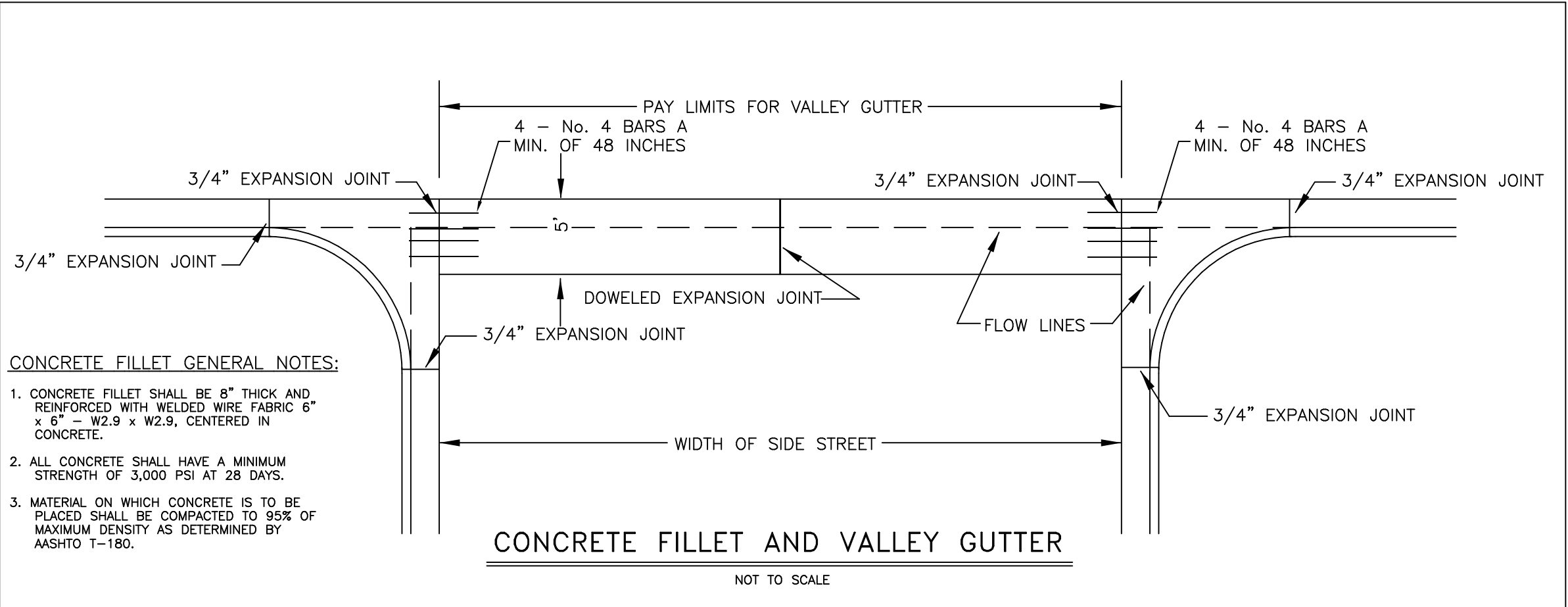
SIDEWALK TO BE INSTALLED ADJACENT ALL NEW CURB & GUTTER.



CURB END TREATMENT
NOT TO SCALE

ROADWAY CONSTRUCTION GENERAL NOTES:

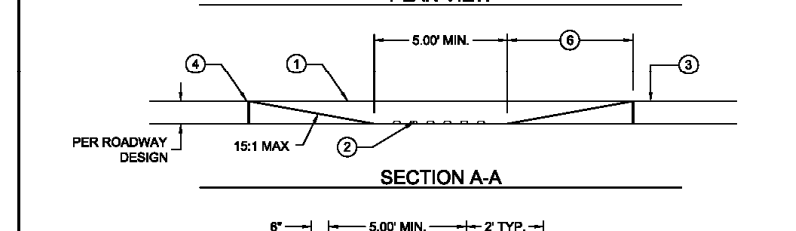
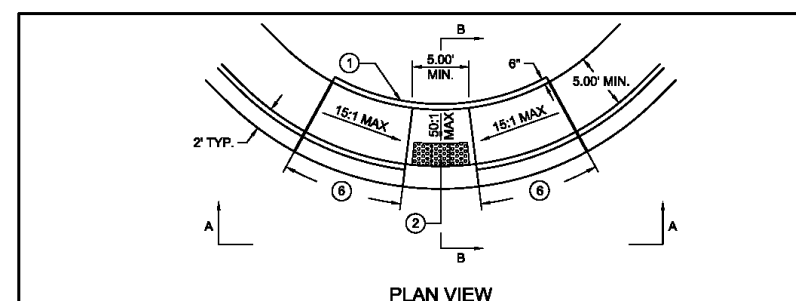
ALL CONCRETE WORK SHALL INCLUDE FIBER REINFORCEMENT. FIBERS SHALL BE VIRGIN POLYPROPYLENE STRANDS (APPROX. 3/4 inches IN LENGTH). ALL CONCRETE SHALL CONTAIN APPROXIMATELY 1.5 LBS. OF FIBER PER CUBIC YARD OF CONCRETE. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR SUCH WORK AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. FIBER REINFORCEMENT DOES DELETE REQUIREMENT FOR STEEL REINFORCEMENT WHEN REQUIRED BY DETAILS ON THIS SHEET.



CONCRETE FILLET GENERAL NOTES:

1. CONCRETE FILLET SHALL BE 8" THICK AND REINFORCED WITH WELDED WIRE FABRIC 6" X 8" - W2.9 X W2.9, CENTERED IN CONCRETE.
2. ALL CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3,000 PSI AT 28 DAYS.
3. MATERIAL ON WHICH CONCRETE IS TO BE PLACED SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.

CONCRETE FILLET AND VALLEY GUTTER
NOT TO SCALE

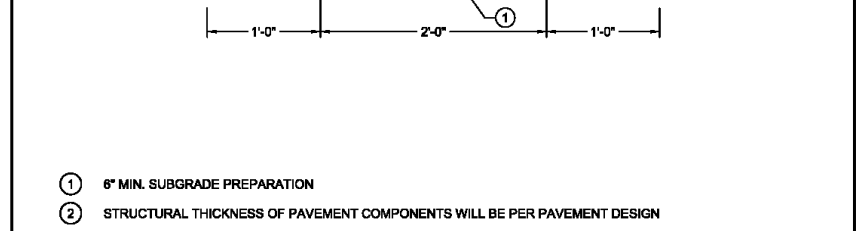
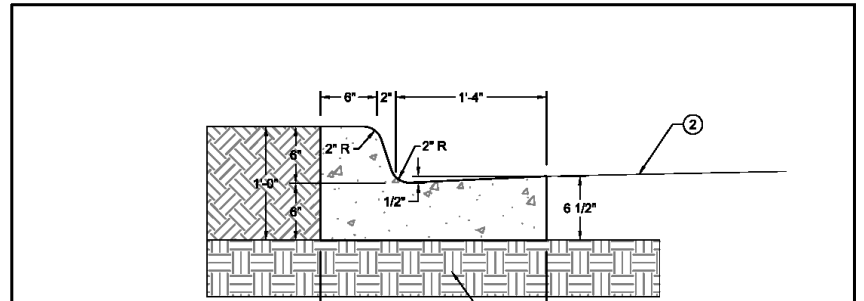


GENERAL NOTE

1. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE NEW MEXICO APWA STANDARD SPECIFICATIONS.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE NEW MEXICO APWA STANDARD SPECIFICATIONS.
3. SUBGRADE SHALL BE MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM OF 95% OF ASTM D-1557 DRY DENSITY.
4. ALL CONCRETE SHALL BE CLASS A UNLESS OTHERWISE STATED IN THE PLANS OR SPECIFICATIONS.
5. CURBS AND GUTTERS SHALL HAVE 12" EXPANSION JOINTS ON 30' O.C. MAXIMUM AND AT ALL CURB RETURNS.
6. CURBS AND GUTTERS SHALL HAVE 12" GROOVE JOINTS AT 9' O.C. TO CORRESPOND WITH THE LOCATION OF THE 12" GROOVE JOINTS IN THE SIDEWALK.
7. ALL CONCRETE SHALL CONTAIN ANTI-CRACK FIBER REINFORCEMENT AT A RATE OF 1.5 LB PER CUBIC FOOT.
8. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.

ADA RAMP DETAIL - CURB RETURN
DESIGNATED NO. 3010
SCALE: 1/4" = 1'-0"
DATE: 10/15/18
REVISIONS:
APPROVED BY: [Signature]
CITY OF HOBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS

REQUIRED AT ALL STREET CORNERS.

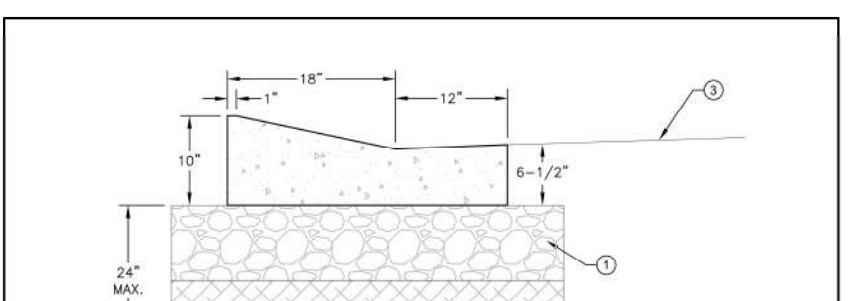


GENERAL NOTES:

1. FOR USE ON ALL CITY STREET CLASSIFICATIONS AS A FUNCTION OF DRAINAGE AND TRAFFIC CONTROL.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE NEW MEXICO APWA STANDARD SPECIFICATIONS.
3. SUBGRADE SHALL BE MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM OF 95% OF ASTM D-1557 DRY DENSITY.
4. ALL CONCRETE SHALL BE CLASS A UNLESS OTHERWISE STATED IN THE PLANS OR SPECIFICATIONS.
5. CURBS AND GUTTERS SHALL HAVE 12" EXPANSION JOINTS ON 30' O.C. MAXIMUM AND AT ALL CURB RETURNS.
6. CURBS AND GUTTERS SHALL HAVE 12" GROOVE JOINTS AT 9' O.C. TO CORRESPOND WITH THE LOCATION OF THE 12" GROOVE JOINTS IN THE SIDEWALK.
7. ALL CONCRETE SHALL CONTAIN ANTI-CRACK FIBER REINFORCEMENT AT A RATE OF 1.5 LB PER CUBIC FOOT.
8. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.

TYPE 'A' (STANDARD) CURB & GUTTER DETAIL
DESIGNATED NO. 3010
SCALE: 1/4" = 1'-0"
DATE: 10/15/18
REVISIONS:
APPROVED BY: [Signature]
CITY OF HOBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS

ZIA CROSSING PKWY. & PADDOCK CURB SECTION

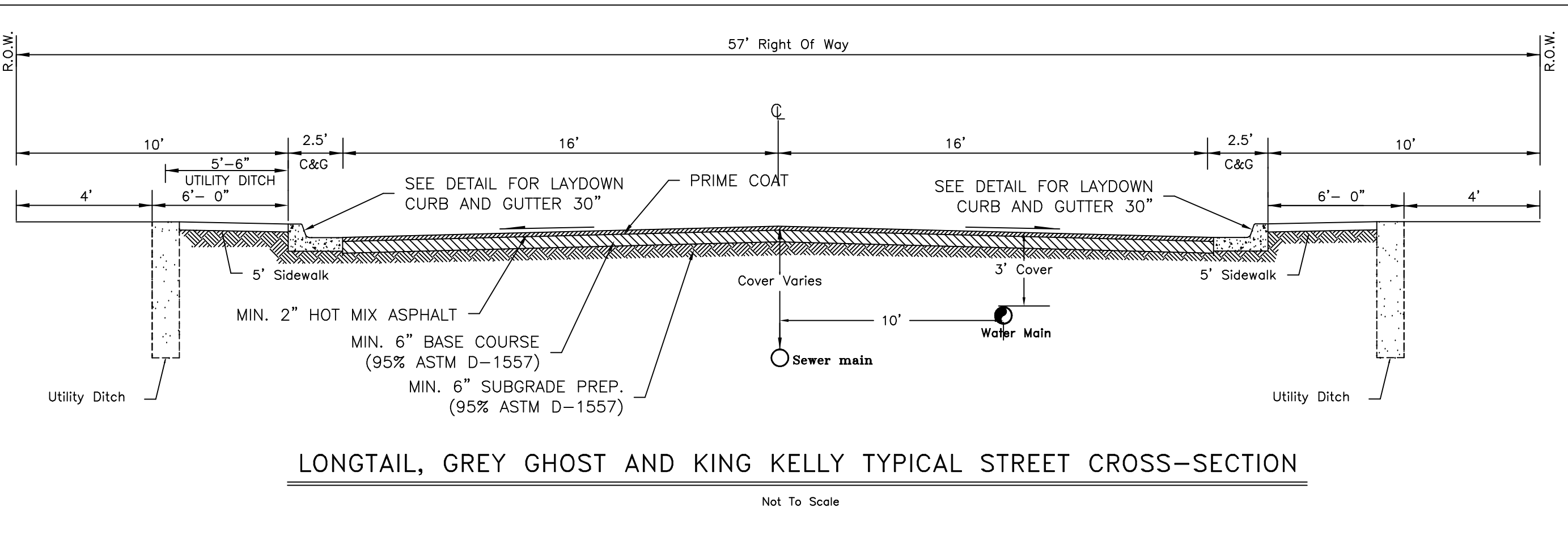


GENERAL NOTES:

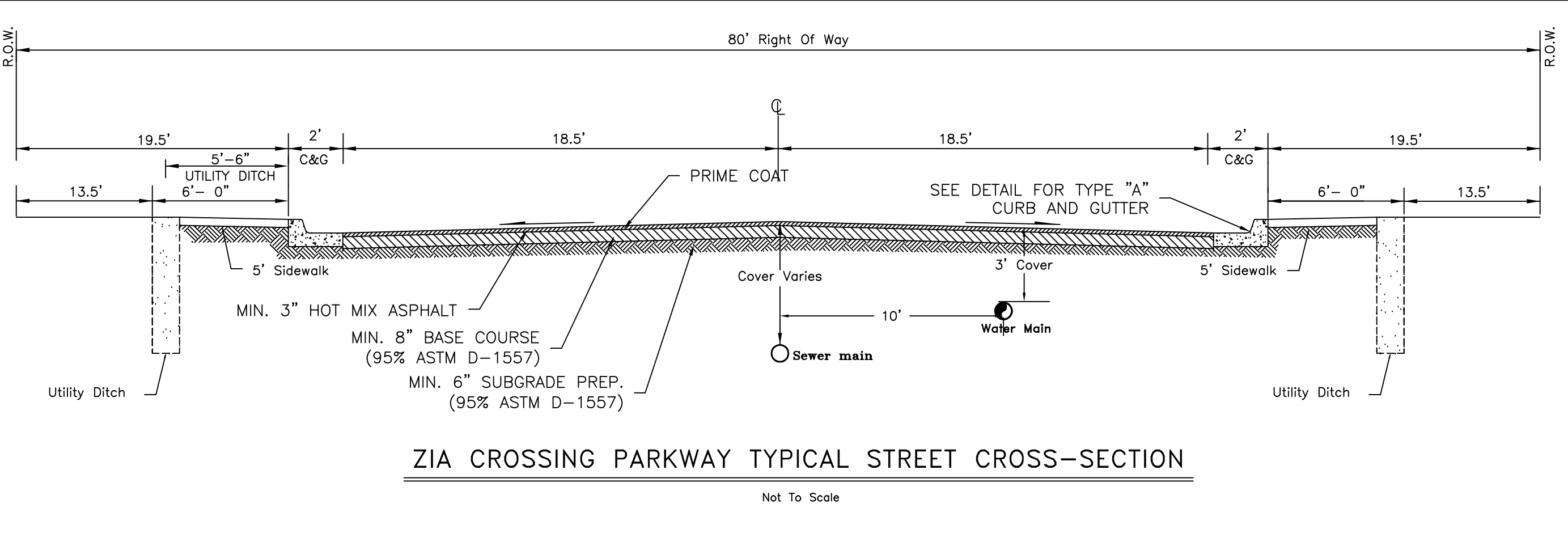
1. FOR USE ON ALL CITY STREET CLASSIFICATIONS AS A FUNCTION OF DRAINAGE AND TRAFFIC CONTROL.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE NEW MEXICO APWA STANDARD SPECIFICATIONS.
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7. ALL CONCRETE SHALL CONTAIN ANTI-CRACK FIBER REINFORCEMENT AT A RATE OF 1.5 LB PER CUBIC FOOT.
8. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.

LAYDOWN CURB 30"
DESIGNATED NO. 3010
SCALE: 1/4" = 1'-0"
DATE: 10/15/18
REVISIONS:
APPROVED BY: [Signature]
CITY OF HOBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS

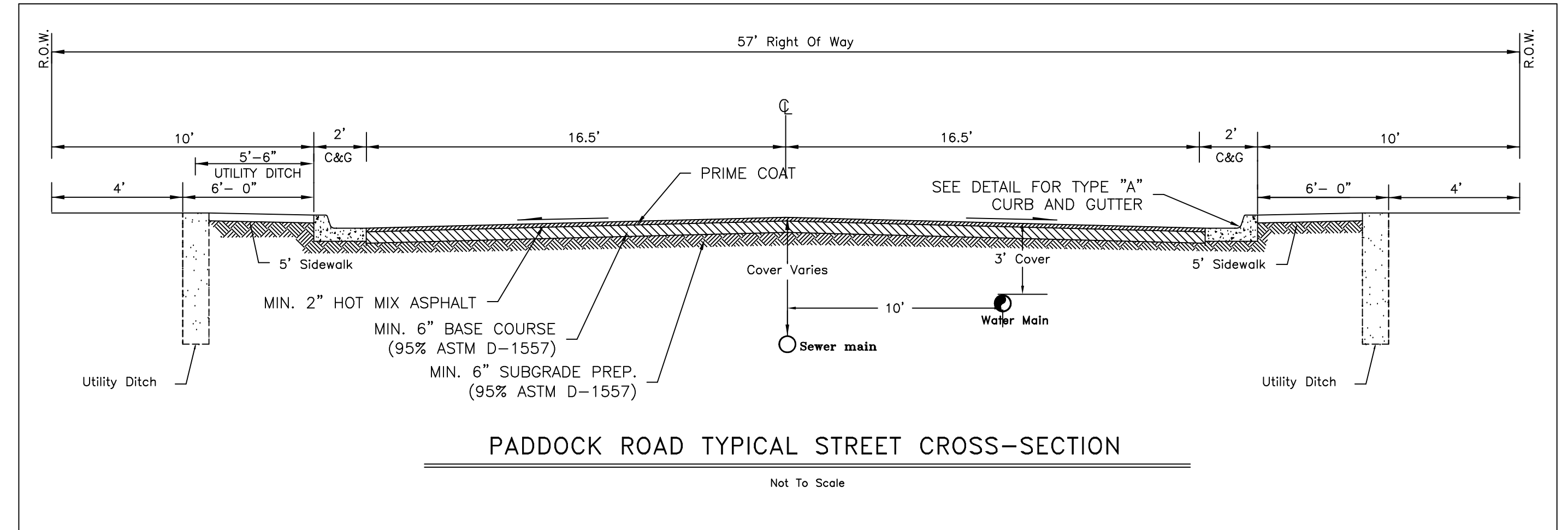
LONGTAIL, GREY GHOST AND KING KELLY CURB SECTION



LONGTAIL, GREY GHOST AND KING KELLY TYPICAL STREET CROSS-SECTION
Not To Scale



ZIA CROSSING PARKWAY TYPICAL STREET CROSS-SECTION
Not To Scale



PADDOCK ROAD TYPICAL STREET CROSS-SECTION
Not To Scale

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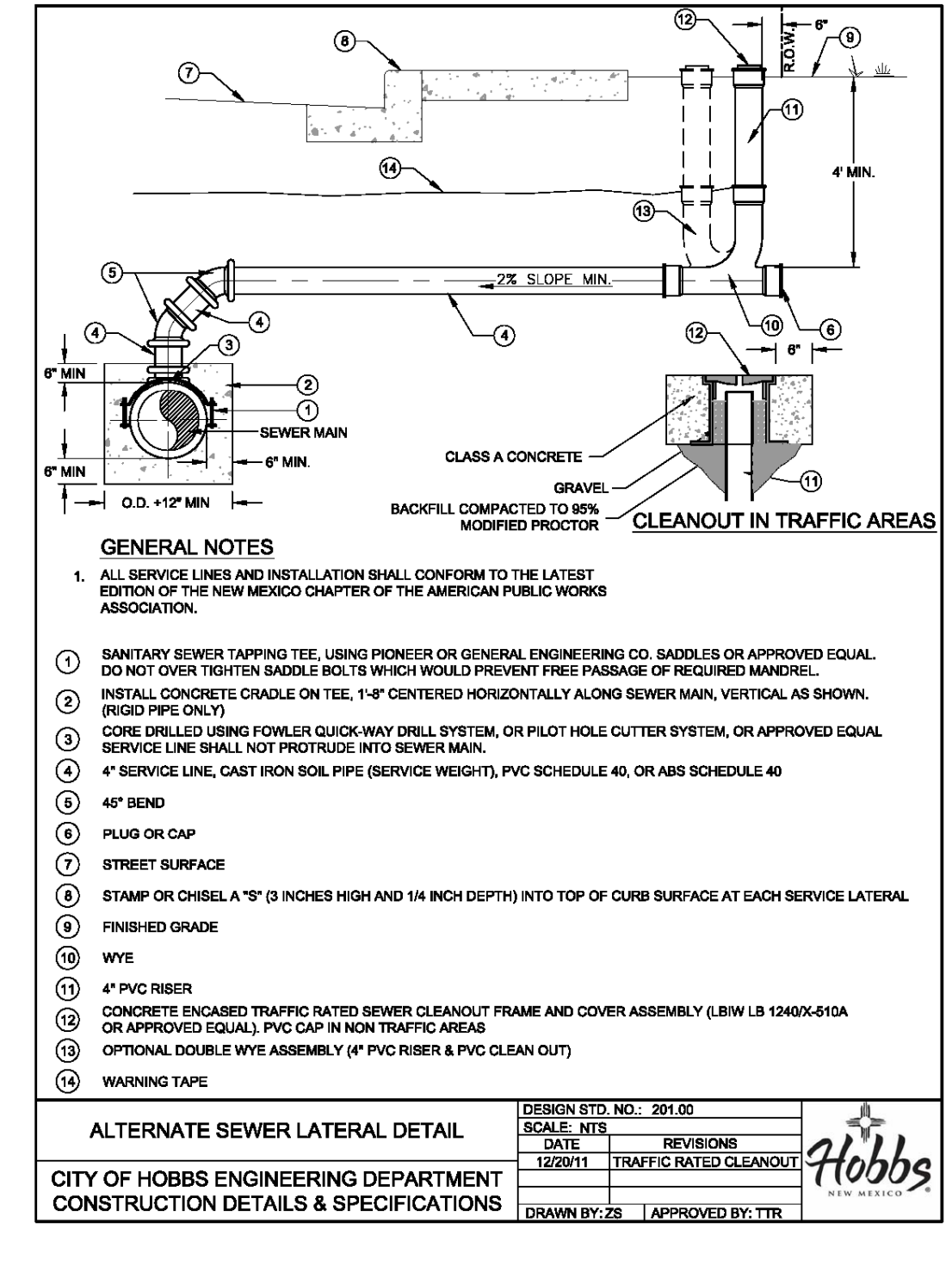
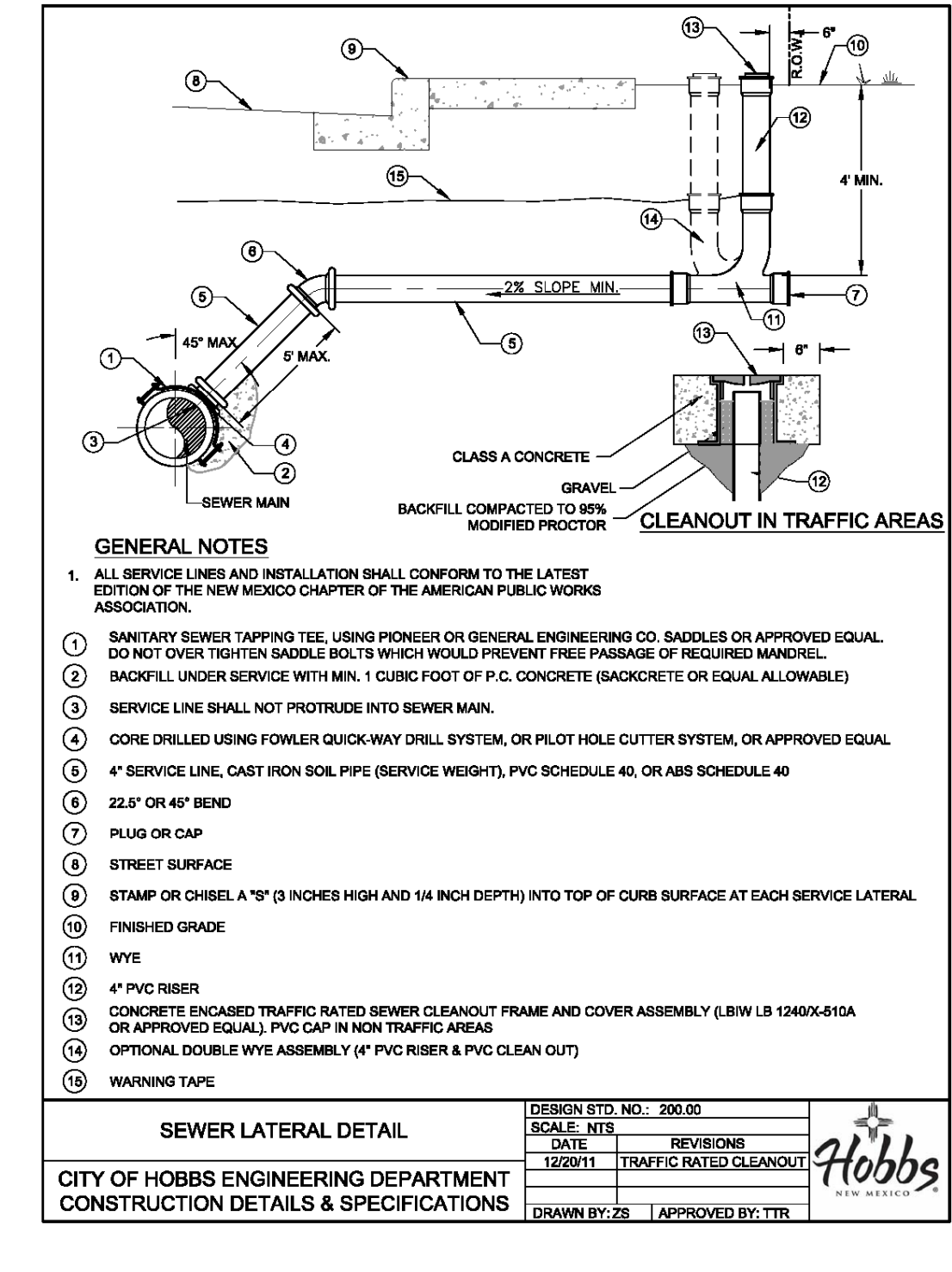
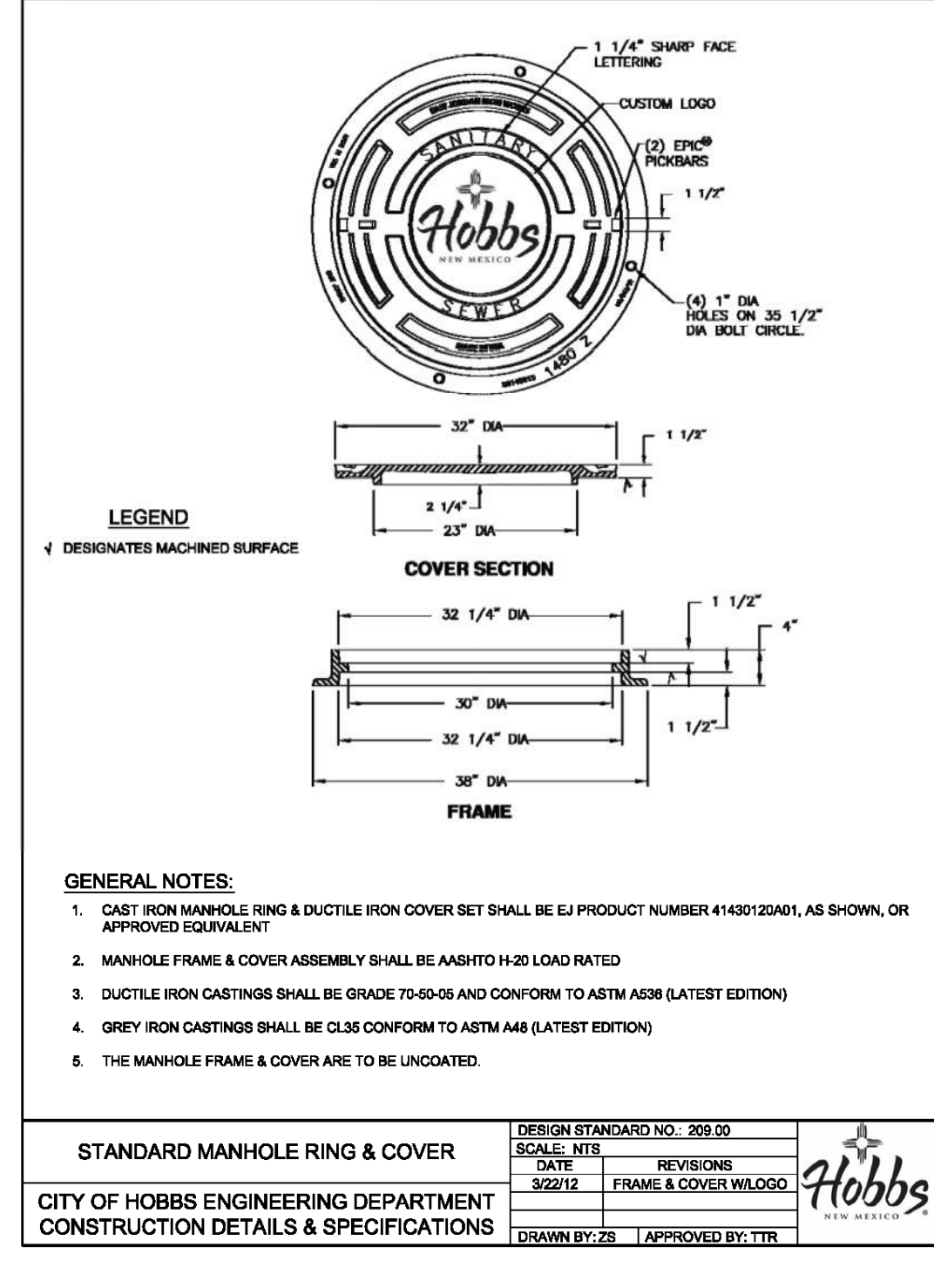
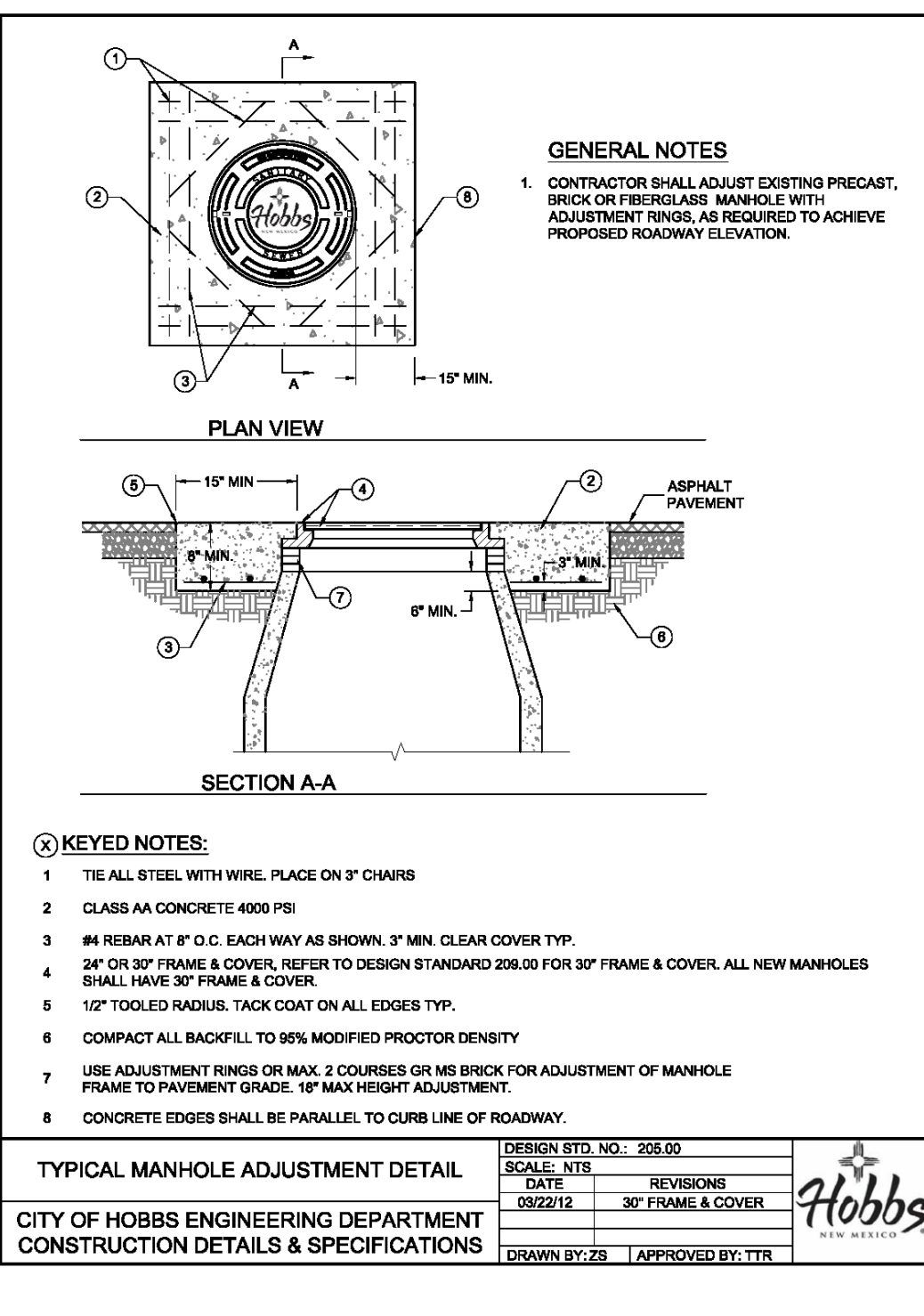
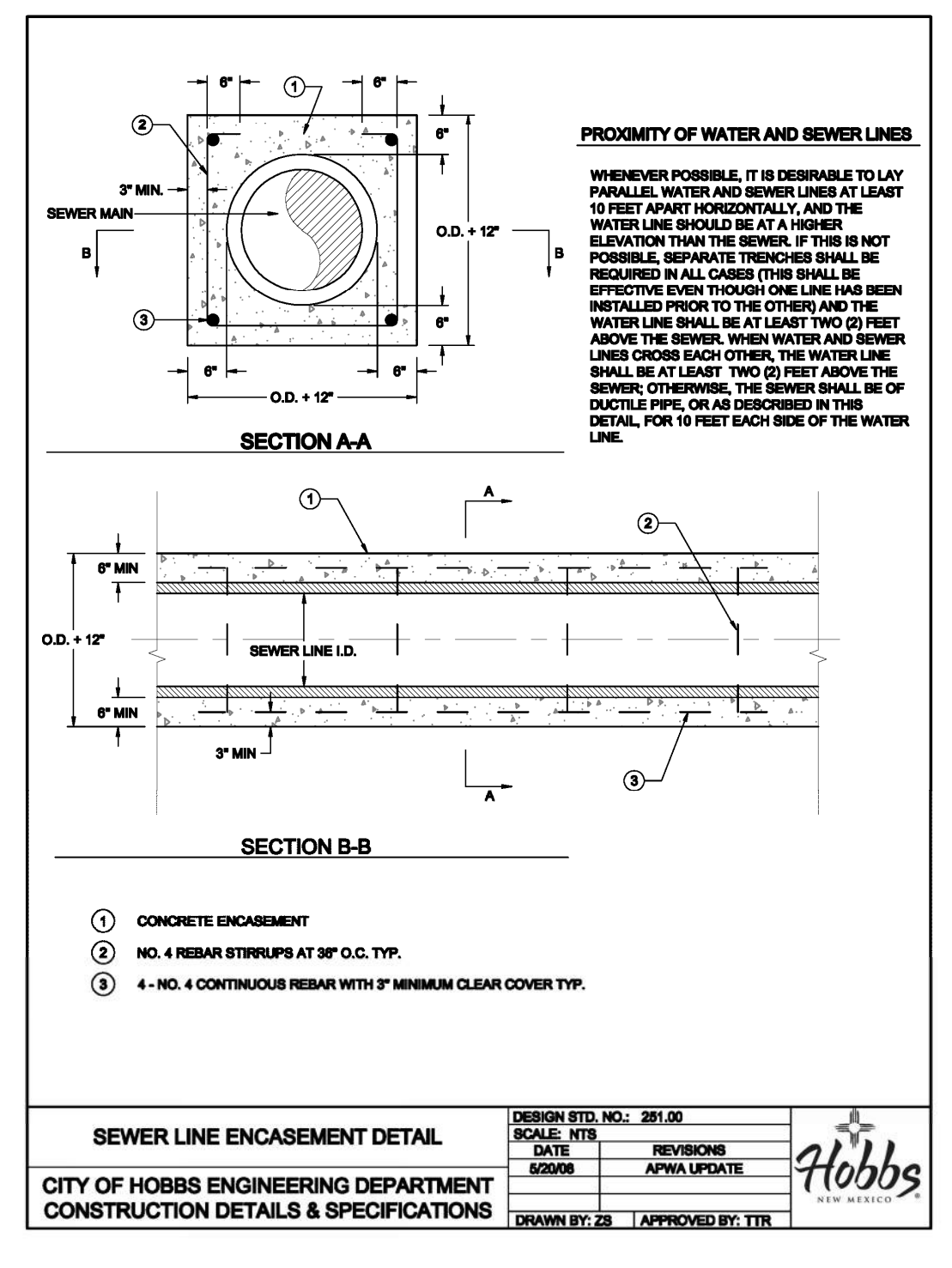
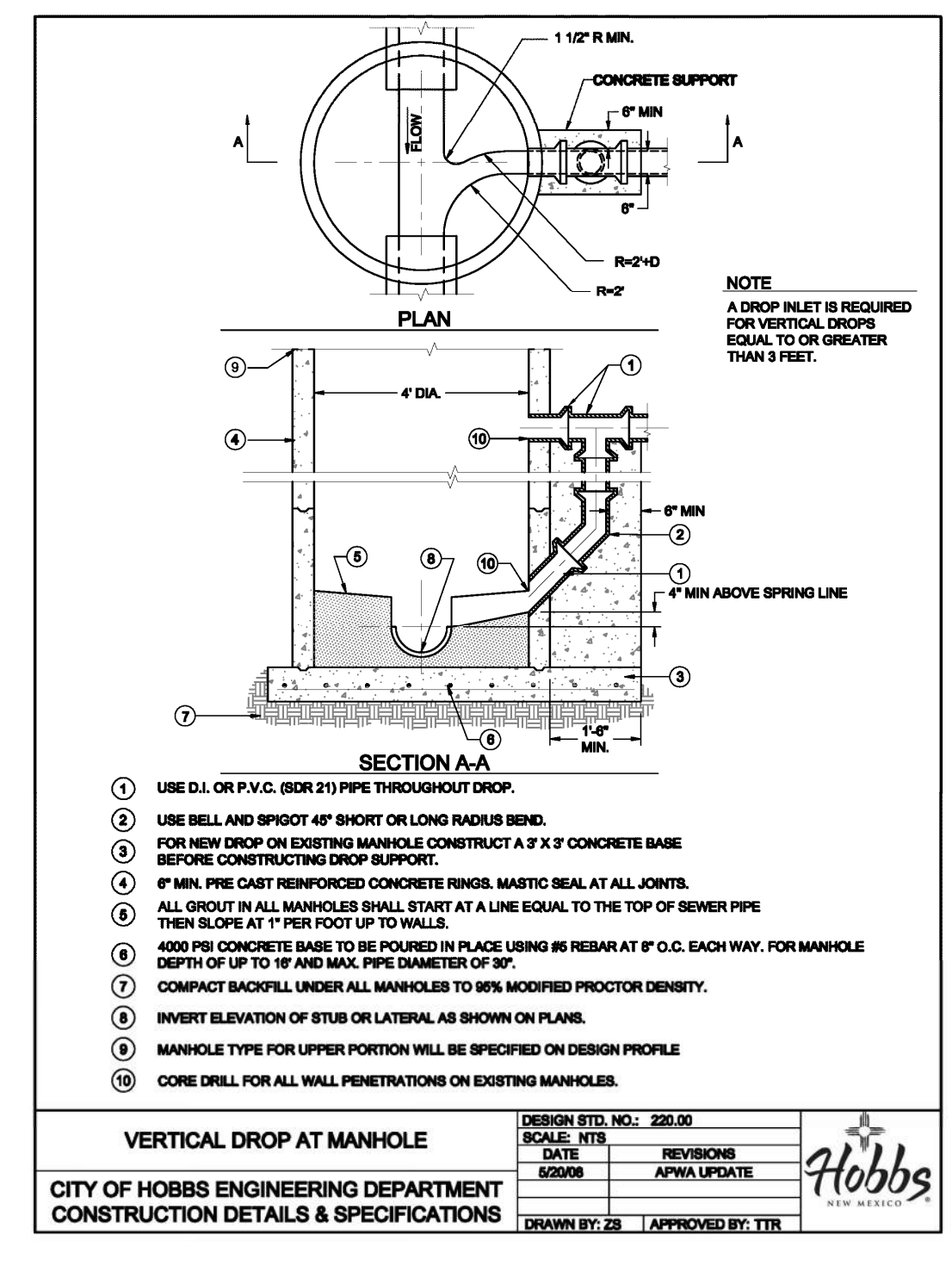
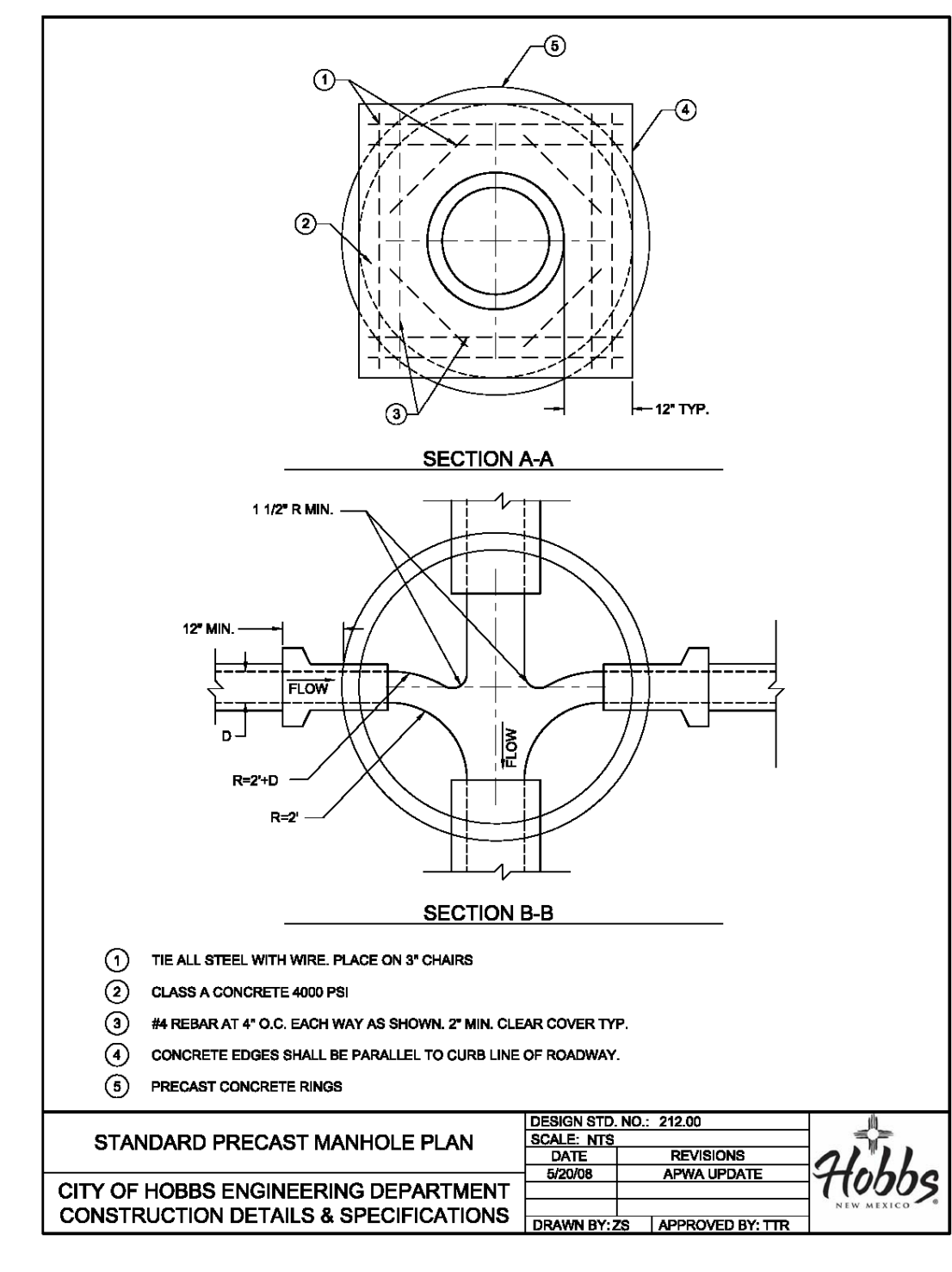
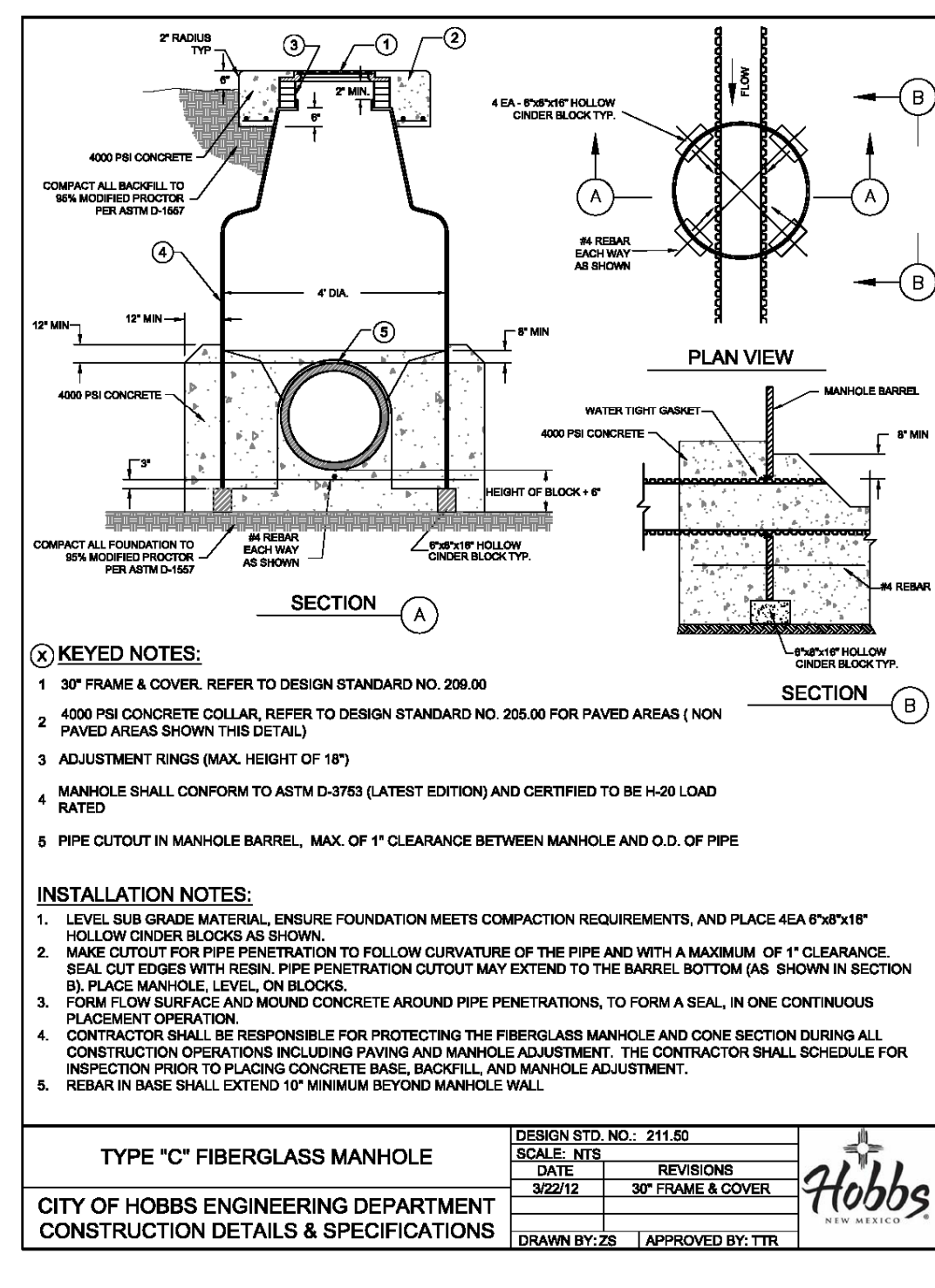
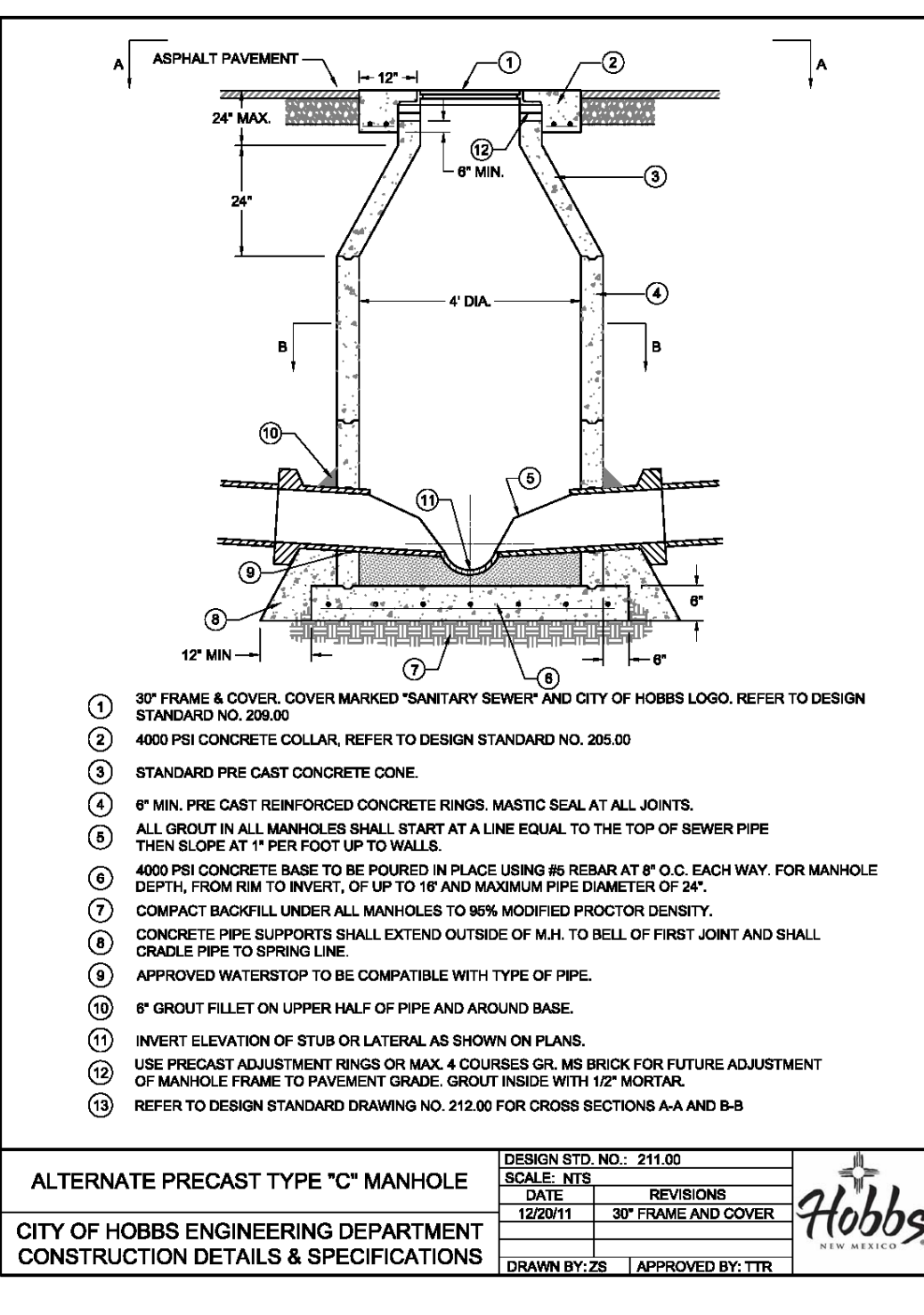
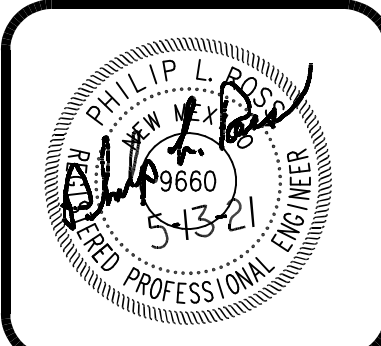
ZIA CROSSING UNIT 8
ROADWAY DETAILS

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
5/13/21	GENERAL
File Name:	Job No.:
ROAD	

SHEET
R1
R1 of R1 sheets

ORIGINAL DRAWING SIZE 24" X 36"



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ZIA CROSSING SUBDIVISION
SEWER DETAILS

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
5/13/21	GENERAL
File Name:	Job No.:
SEWER	

SHEET
S1
S1 of S1 sheets

NOTE:
SEE WATER DETAILS (SHEET W1) FOR
TRENCH DETAILS, BOTH MECHANICAL
COMPACTION AND/OR FLOWABLE FILL.

ORIGINAL DRAWING SIZE 24" X 36"

UNIT 3

LONGTAIL ROAD

UNIT 8

GREY GHOST ROAD

Design Pending

KING KELLY ROAD

PADDOCK ROAD

ZIA CROSSING PARKWAY

UNIT 7

DRAWING PROVIDED BY XCEL ENERGY.

PRELIMINARY - NOT FOR CONSTRUCTION - UNDER REVIEW

ORIGINAL DRAWING SIZE 24" X 36"

DRAWING PROVIDED BY XCEL ENERGY.

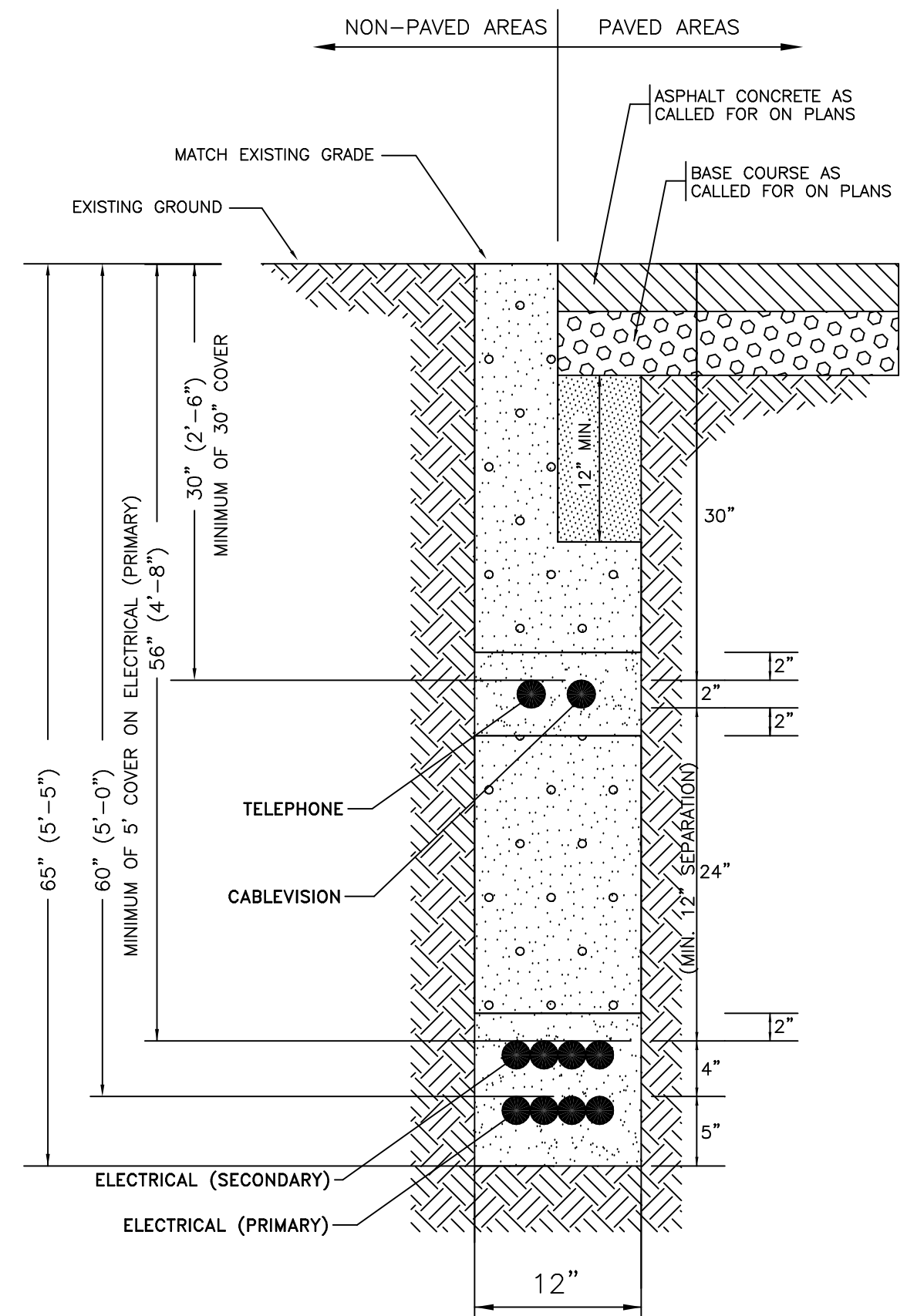
NO.	DATE	BY	CHK	ENGR	APP.
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ZIA CROSSING UNIT 8
UTILITY (ELECTRIC/CABLE/TELEPHONE)
LAYOUT PLAN (BY XCEL ENERGY)

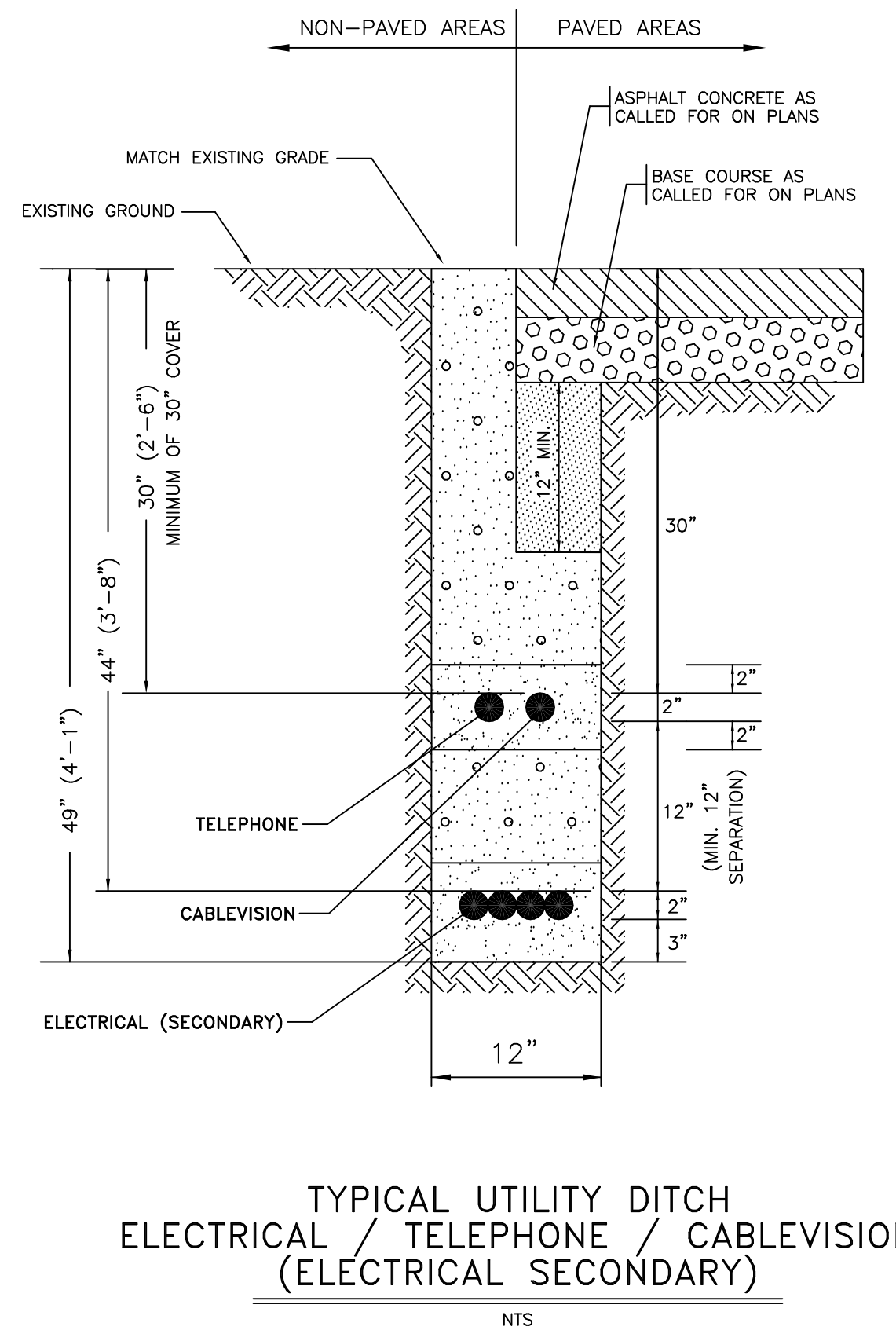


Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
5/13/21	GENERAL
File Name:	Job No.:
ROADS	

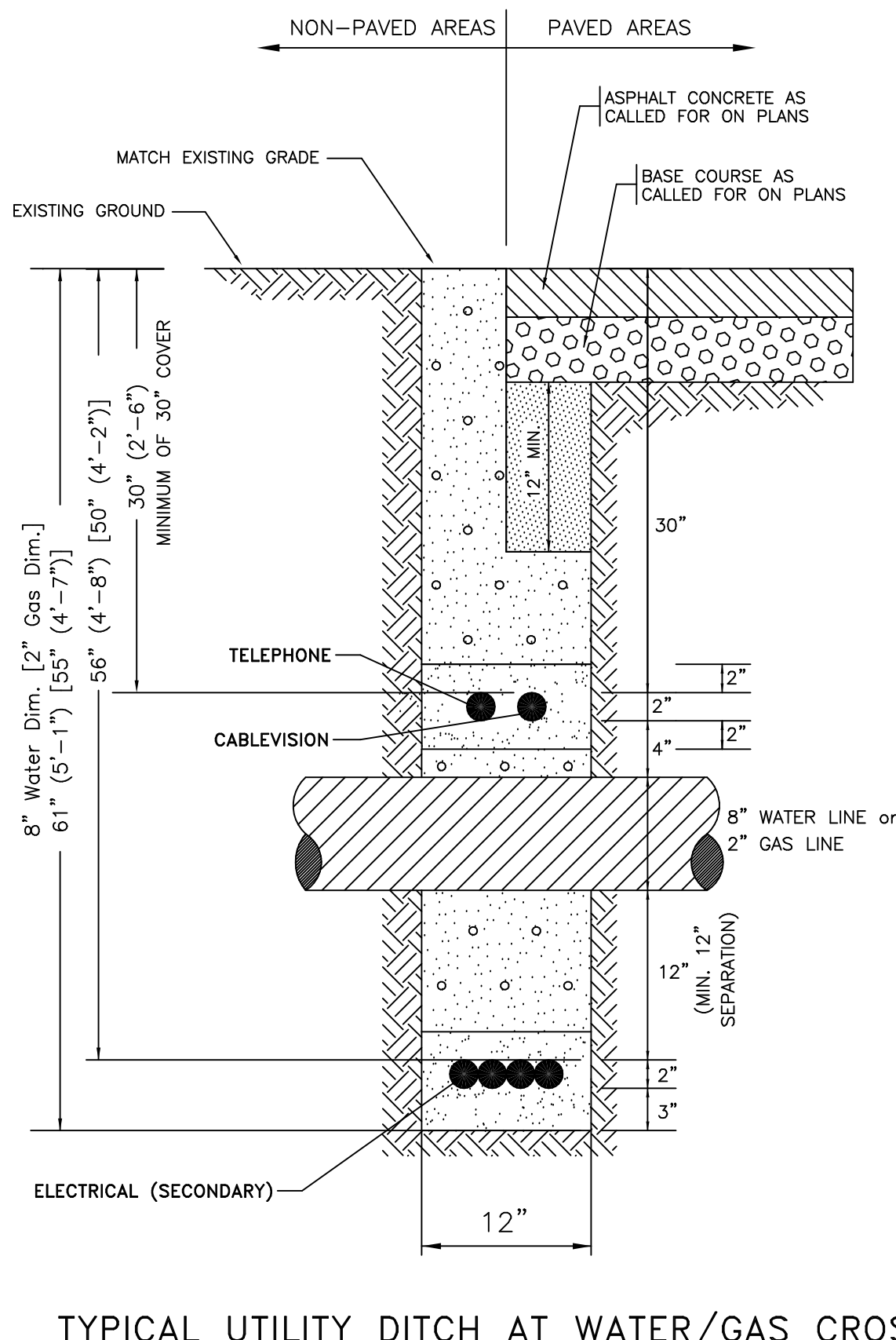
SHEET
U1
U1 of U2 sheets



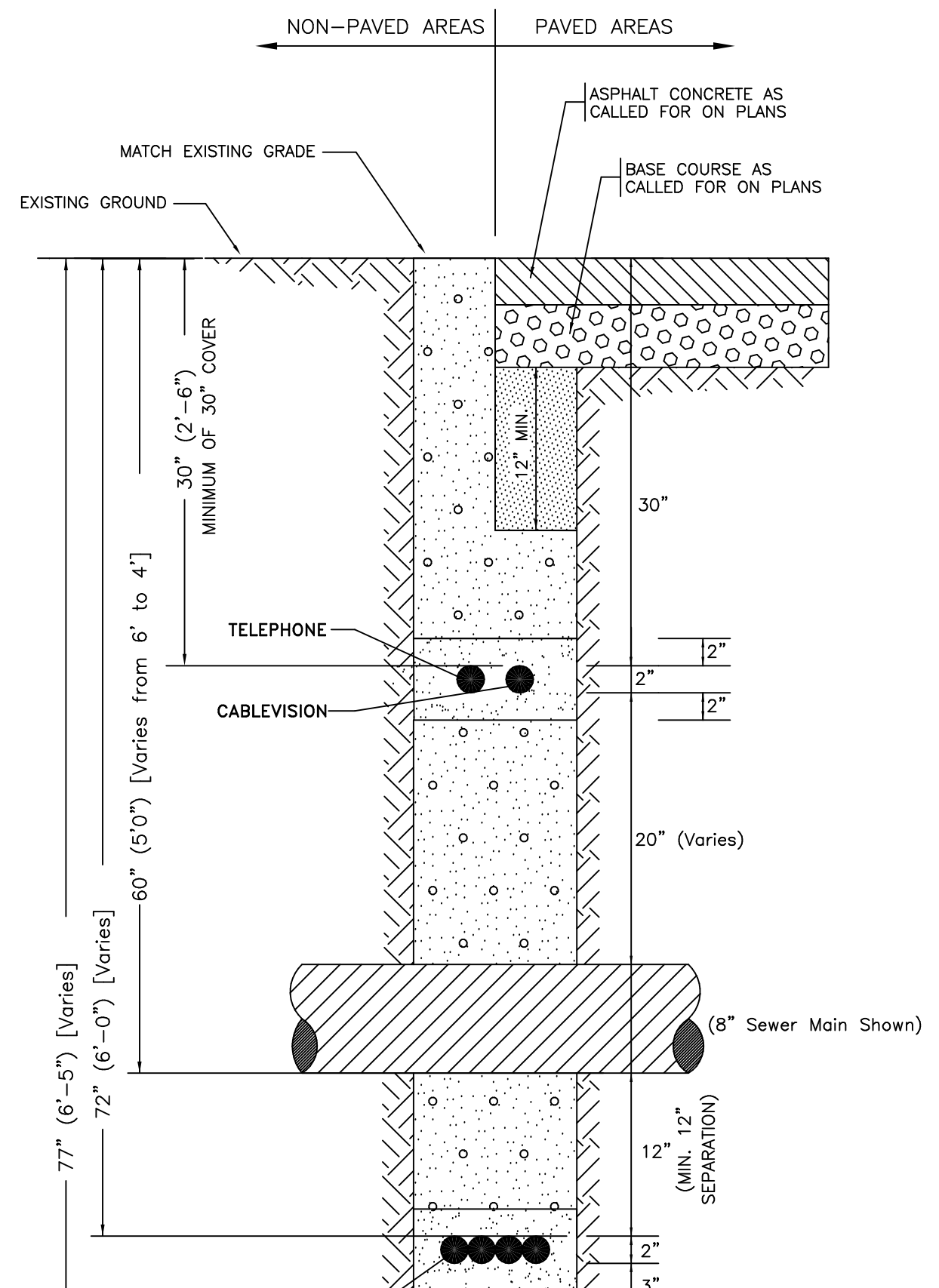
TYPICAL UTILITY DITCH
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL PRIMARY)
NTS



TYPICAL UTILITY DITCH
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL SECONDARY)
NTS



TYPICAL UTILITY DITCH AT WATER/GAS CROSSING
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL SECONDARY)
NTS



TYPICAL UTILITY DITCH AT SEWER CROSSING
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL SECONDARY)
NTS

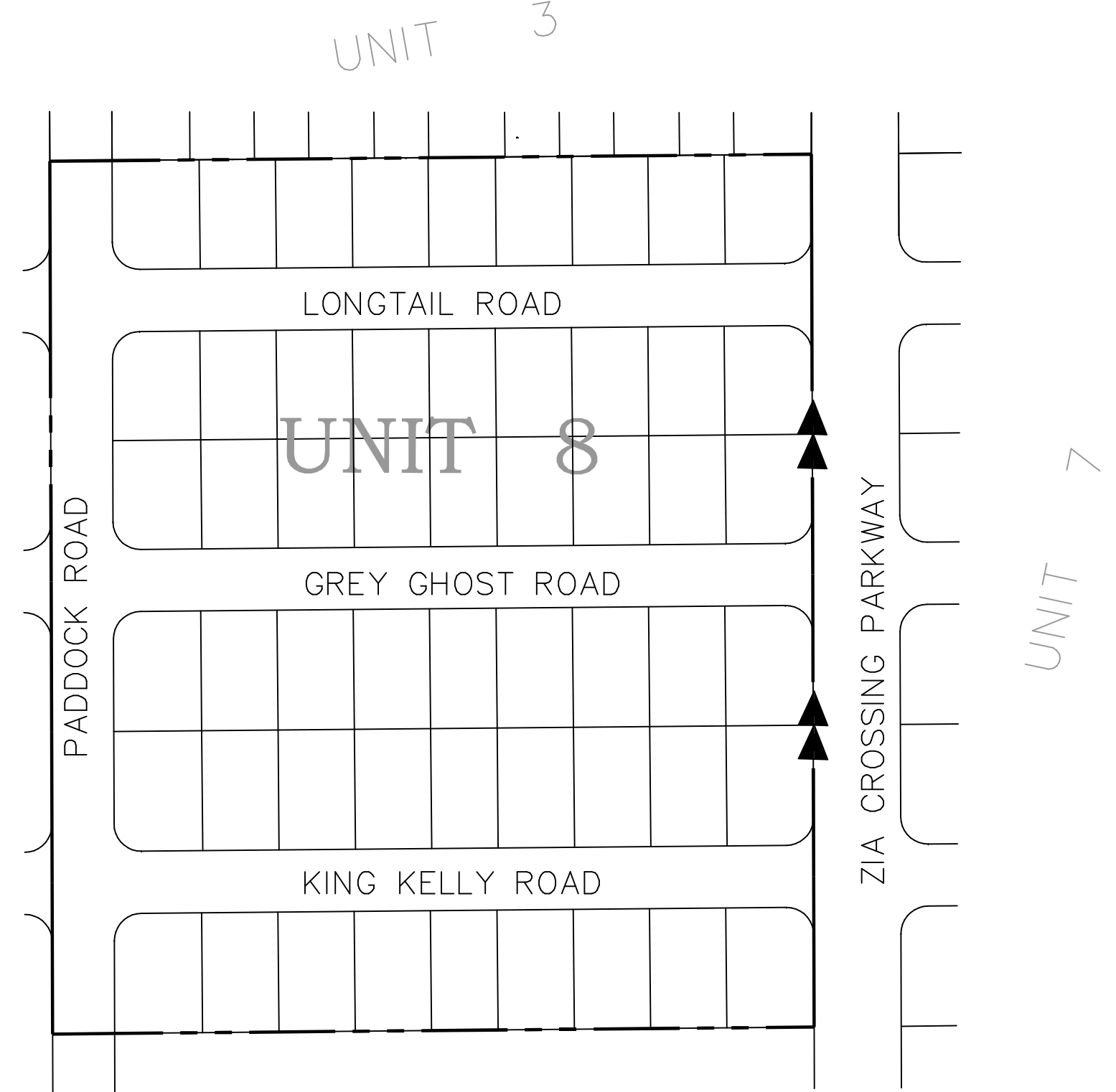
LEGEND
UTILITY DITCH COMPACTION AND MATERIAL REQUIREMENTS

	NATIVE MATERIAL, 95% ASTM D-1557		SELECT BACKFILL MATERIAL, FREE FROM ROCKS GREATER THAN 1/4 INCH DIAMETER, DIRT CLODS, OR FROZEN MATERIAL
	NATIVE MATERIAL, 90% ASTM D-1557		UNDISTURBED EARTH

CONSTRUCTION NOTES: DITCHING (UTILITY) CONTRACTOR

- DITCHES, BACKFILL MATERIALS, BACKFILL & COMPACTION PROVIDED BY DITCHING CONTRACTOR.
- DITCHING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY OWNERS AND FOR THE PROTECTION OF ALL FACILITIES AFTER THEIR INSTALLATION. IF APPLICABLE, GAS COMPANY SHALL DITCH, INSTALL, BACKFILL AND COMPACT THEIR OWN UTILITIES.
- ANY UTILITIES DAMAGED BY THE DITCHING CONTRACTOR DURING TRENCHING, COMPACTION, OR INSTALLING SERVICE LATERALS SHALL BE REPAIRED AND/OR REPLACED AT THE EXPENSE OF THE DITCHING CONTRACTOR.
- EXTRA DEPTH NECESSARY FOR THE ELECTRICAL PRIMARY AND SECONDARY TO CROSS UNDER WATER or SEWER LINES AS SHOWN IN THE TYPICAL DETAILS IS CONSIDERED INCIDENTAL AND NO EXTRA PAYMENT WILL BE MADE.

LEGEND ▲ 16 UNIT CBU (TOTAL 4)

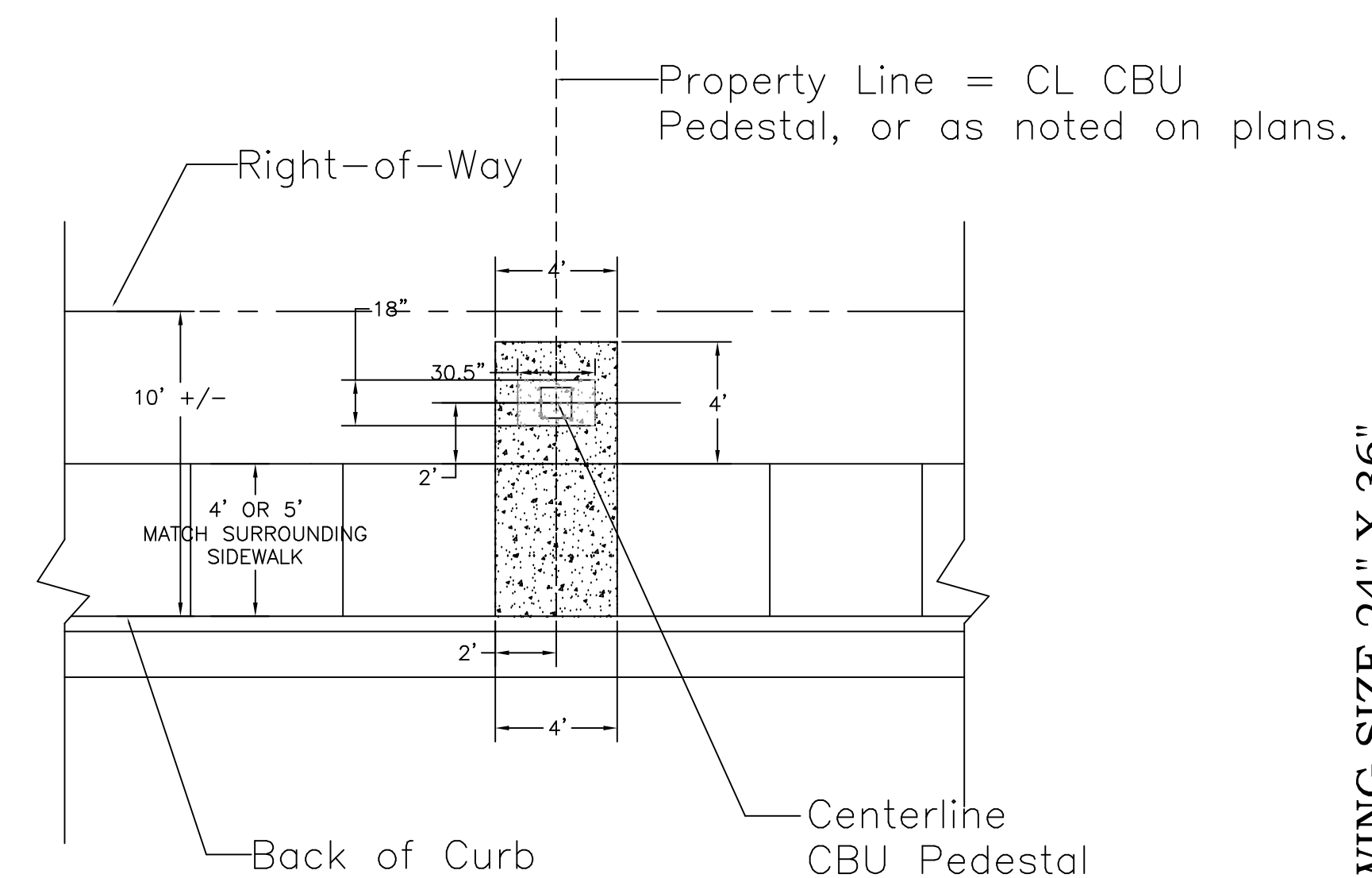


CLUSTER BOX UNIT (CBU) TYPE AND LOCATION
NTS

CLUSTER BOX UNITS (CBU'S) GENERAL NOTES:

CBU'S AVAILABLE AT WWW.MAILBOXES.COM.

16 UNIT CBU TO BE MODEL NUMBER 3316, WITH PEDESTAL 3385. MANUFACTURED BY SALSBUURY INDUSTRIES - ALL ALUMINUM CONSTRUCTION CONTAINING AN OUTGOING MAIL SLOT AND 2 PARCEL LOCKERS EACH. ALL CBU KEYS TO BE DELIVERED TO THE ENGINEER FOR DELIVERY TO THE POST OFFICE.



- Notes:
- Dimensions shown allow approximately 6.25' clearance in front of CBU (mailbox).
 - See manufacturer's installation guide for installation of CBU pedestal and box.
 - Centerline of CBU Pedestal shall not be located closer than 25' from curb return at corner lots.
 - If CBU placed in area with out curb and gutter, 4' x 4' sidewalk still required in front of slab for pedestal.

TYPICAL CLUSTER BOX UNIT (CBU) CONCRETE DETAIL

NTS

NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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ZIA CROSSING UNIT 8
POST OFFICE CLUSTER BOX DETAILS
UTILITY (ELECTRIC/CABLE/TELEPHONE)
TRENCH DETAILS



Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
5/13/21	GENERAL
File Name:	Job No.:
ROADS	

SHEET
U2
U2 of U2 sheets

ORIGINAL DRAWING SIZE 24" X 36"

March 16, 2021
Planning Board Regular Meeting

- 9) **Review and Consider proposed variance from MC 15.20 for property located at 305 E. Sanger.**

From: Tom Miller <tom.uniquebuildersgroup@gmail.com>
Sent: Friday, May 14, 2021 7:54 AM
To: Kevin Robinson
Subject: EXTERNAL: Fwd: parking
Attachments: angle parking plan 5-13-21.pdf

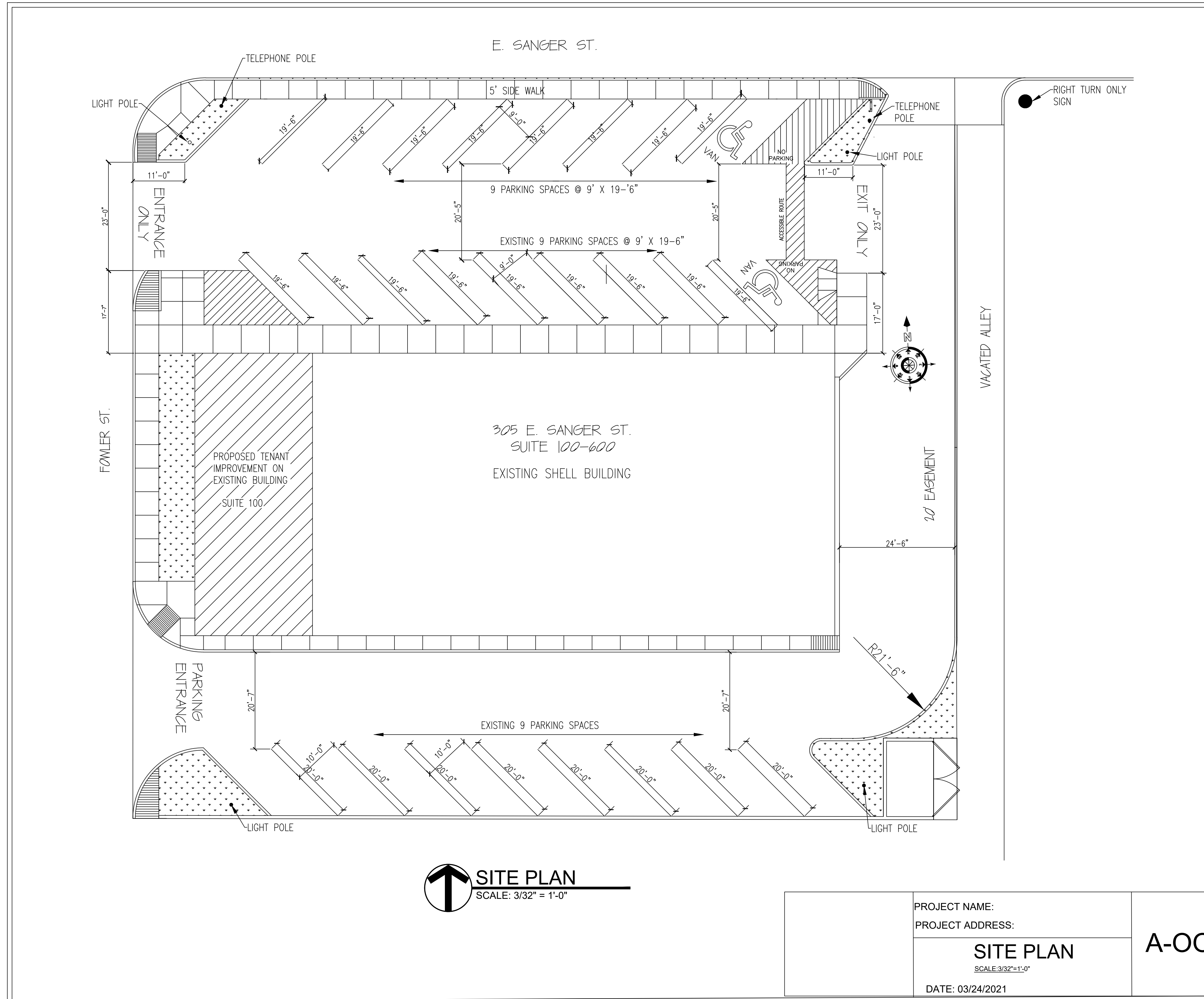
Kevin

Here are our proposed changes on our parking lot at 305 E Sanger, I would like to be put on the agenda for the next planning meeting on 5/18/20

Thanks

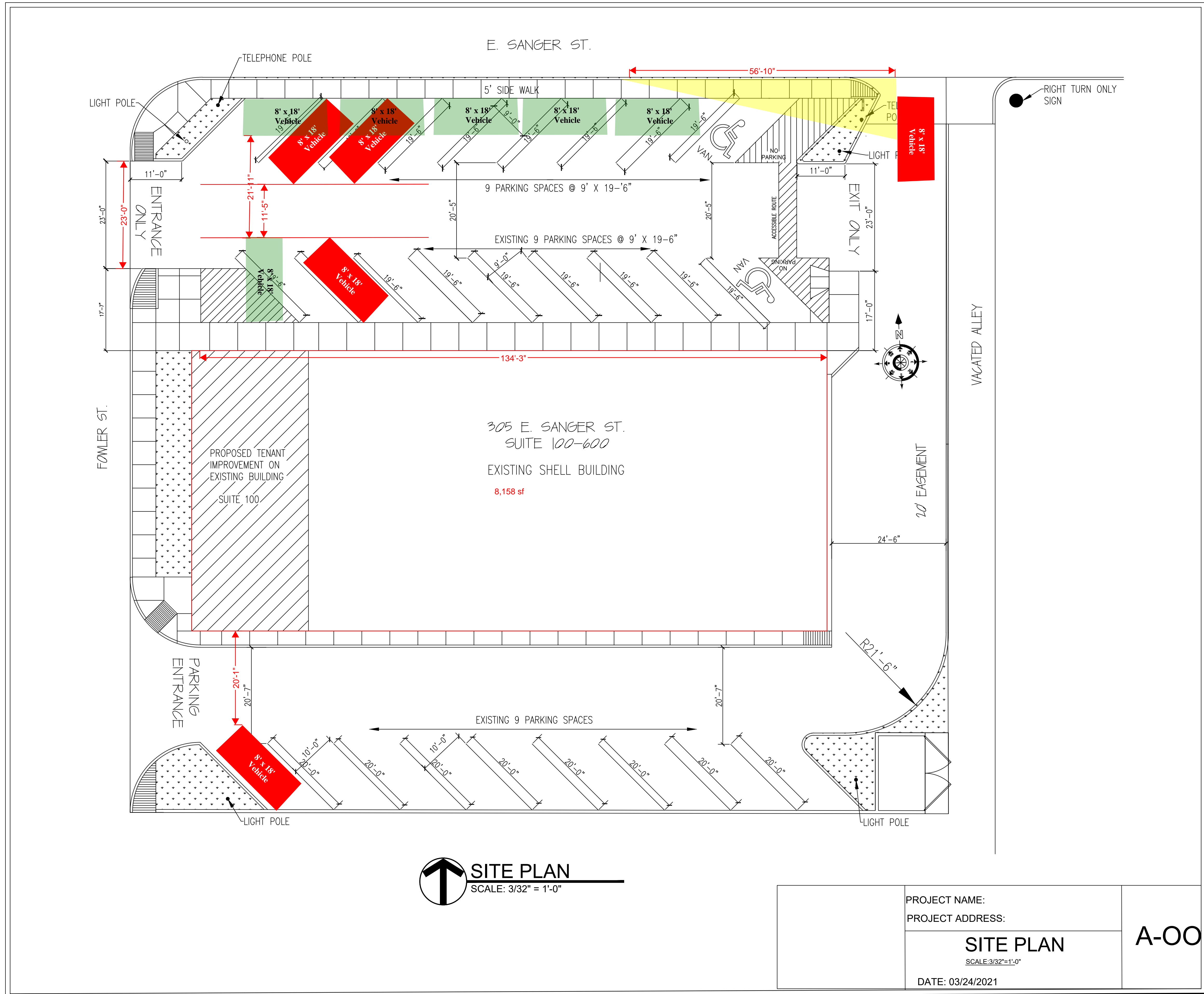
Tom Miller
(575)-390-4364
tom.uniquebuildersgroup@gmail.com






SITE PLAN
 SCALE: 3/32" = 1'-0"

PROJECT NAME:	A-00
PROJECT ADDRESS:	
SITE PLAN <small>SCALE: 3/32" = 1'-0"</small> DATE: 03/24/2021	




SITE PLAN
 SCALE: 3/32" = 1'-0"

PROJECT NAME:	A-00
PROJECT ADDRESS:	
SITE PLAN <small>SCALE: 3/32" = 1'-0"</small> DATE: 03/24/2021	

March 16, 2021
Planning Board Regular Meeting

- 10) Review Proposed Updated Master Plan for Zia Crossing Unit 8, as presented by property owner, Black Gold Estates.**

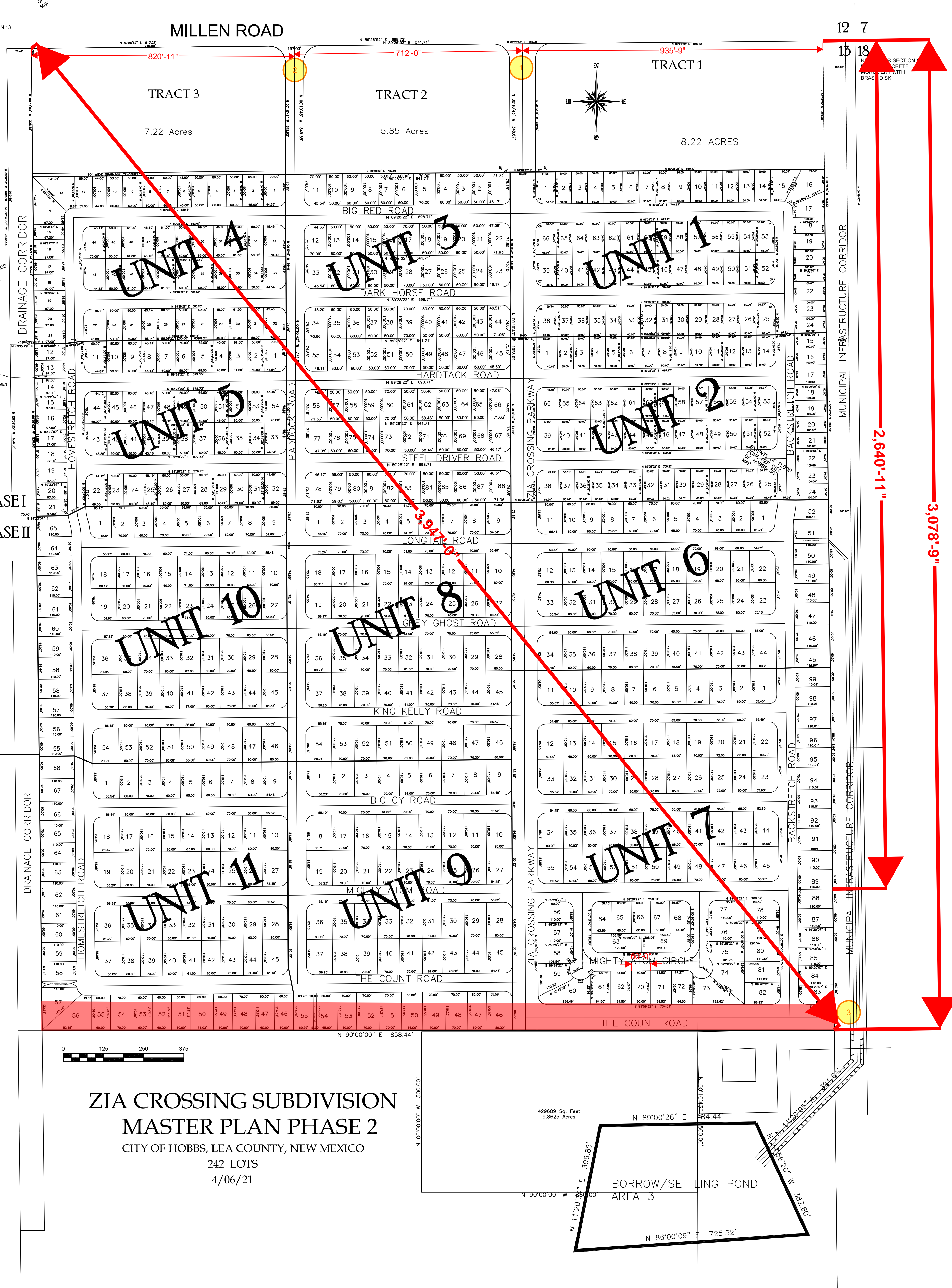
ZIA CROSSING SUBDIVISION MASTER PLAN

CITY OF HOBBS, LEA COUNTY, NEW MEXICO

6/28/19

EXTENTS OF FLOOD ZONE PER CITY OF HOBBS GIS MAP

N1/4 CORNER SECTION 13 FOUND CONCRETE MONUMENT WITH BRASS DISK



ZIA CROSSING SUBDIVISION MASTER PLAN PHASE 2

CITY OF HOBBS, LEA COUNTY, NEW MEXICO

242 LOTS
4/06/21

429609 Sq. Feet
9.8625 Acres

BORROW/SETTLING POND
AREA 3